

LAFAYETTE HISTORIC PRESERVATION COMMISSION

7:00pm

City of Lafayette YouTube channel <https://www.youtube.com/user/CityofLafayetteIN/live>  
**Call To Order**

**Approval Of Minutes**

Approval Of April 27, 2020 Minutes

Documents:

[04-27-20 HPC MINUTES.PDF](#)

**New Business**

**Public Relations & Education Committee Report**

**District Committee Report**

**COA Committee Report**

COA Applications

COA – 619 Ferry St – Fences

Documents:

[619 FERRY STREET-FENCES.PDF](#)

COA-631 Main Street –Infill Development

Documents:

[631 MAIN STREET-INFILL DEVELOPMENT.PDF](#)

**Staff Report**

**Public Comments**

**Public Statement During COVID-19**

**In accordance with Governor Holcomb's Executive Order 20-09 regarding the COVID-19 public health emergency, the Historic Preservation Commission meeting is being held as videoconference or teleconference meeting. Public comment from citizens who wish to address items on the agenda will be accepted**

**via email to [web-ed@lafayette.in.gov](mailto:web-ed@lafayette.in.gov) no less than one (1) hour in advance of the scheduled start time of the meeting. Such materials will be distributed to the members of the Commission. Virtual options for public viewing will be noted on the agenda found at <http://lafayette.in.gov/agendacenter>.**

**Adjournment**

## **Lafayette Historic Preservation Commission Meeting Minutes**

**April 27, 2020**

**7:00 p.m.**

The April 27, 2020 meeting of the Lafayette Historic Preservation Commission took place online due to the COVID-19 pandemic and Governor Holcomb's shelter-in-place orders beginning Tuesday, March 24. All government offices are closed to in-person public activity until at least May 26, 2020. All nonessential City employees are working remotely whenever possible and are continuing to provide core functions online and by phone. All necessary meetings are being conducted observing safe practices, including conference calls and online streaming (<https://www.youtube.com/user/CityofLafayetteIN/live>).

**Commission Members in Attendance:** John Burns, Julie Ginn, Kevin Klinker, Sean Lutes, Shawna McCully, Patti Morgan, Amy Paget, Glen Vick and Kurt Wahl

**Staff in Attendance:** John Collier, Dann Keiser, Michelle Conwell

**Guests:** Dale Webster

### **Call to Order**

Noting a quorum, John Burns called the meeting of the Lafayette Historic Preservation Commission to order at 7:02 pm.

### **Approval of the Minutes**

Kevin Klinker moved to recommend approval of the of the January 27, 2020 meeting minutes. Patti Morgan seconded the motion. The motion passed unanimously by roll call vote.

### **New Business**

#### **Public Relations and Education Committee report**

No report was made by the Public Relations and Education Committee.

#### **District Committee report**

No report was made by the Public Relations and Education Committee.

#### **COA Committee report**

##### **COA applications:**

##### **COA – 424 Main St – Window Replacements**

Applicant, Dale Webster, brought this COA for the replacement of two previously replaced wood windows on the 2<sup>nd</sup> story of 424 Main St. These windows will be replaced with new wood replacement windows to match in style and color the wood replacement windows that were installed several years ago on the 3<sup>rd</sup> floor of that same building. Kevin Klinker moved to recommend approval. Amy Paget seconded the motion. The motion passed unanimously by roll call vote.

##### **COA-1001 Main Street – Modification to Fence**

Applicants, Michelle Wise and Marla Miner, were not present for the online meeting, but John Collier gave an overview of the application. The COA application is for a more decorative fence around the future outdoor dining area at The Cellar Wine Bistro at 1001 Main St., than what the HPC previously approved as part of the Main Street Streetscape Phase 3 project several months ago. NOTE: Julie Ginn, as building owner of this project, did not vote on this COA, even though she is not the applicant. Kevin Klinker moved to recommend approval. Glen Vick seconded the motion. The motion passed by roll call vote, Julie Ginn abstained.

## **Other Business**

### **419 Main Street – Emergency Repair - Brick Infill Due To Unforeseen**

John Collier addressed this already completed emergency repair project to infill a window opening with brick due to a structural problem encountered during the renovation project. Patti Morgan, the building owner, explained that this window was to have been repaired, but a serious structural issue was exposed while doing interior work that posed a risk of collapse of this portion of the wall, so the repair was done immediately. Dann Keiser mentioned that the original direction for the repair was to include an offset from the existing exterior façade to indicate the original window opening. Patti Morgan explained that because of the thickness of the block that infilled the wall, maintaining an offset was not possible. Amy Paget moved to recommend approval. Kevin Klinker seconded the motion. The motion passed by roll call vote. As building owner, Patti Morgan abstained.

## **Staff Report**

John Collier thanked everyone for their continued patience with the online meeting process. Once the COVID-19 orders are removed and it's safe to gather face to face again, the Commission meetings will be moved to City Council Chambers on the first floor of City Hall. This is being done to limit access to the second floor of City Hall after regular business hours, but the larger meeting space will be beneficial from a social distancing standpoint as well. Finally, since May is Historic Preservation month, the Indiana Department of Natural Resources – Division of Historic Preservation and Archeology provided posters that highlight a few of the remaining Indiana Coca-Cola bottling plants. John will share the posters with Commissioners once we're able to meet in the same physical space. Due to the COVID19 pandemic, the Preserving Historic Places Conference that was scheduled for this month in South Bend, IN has been postponed to a yet-to-be determined date in the fall. Consequently, continuing education requirements for HPC members has been waived for this year.

## **Public Comment**

John Burns asked for additional comments from the public. There were no comments from the public and no emails were received on the [web-ed@lafayette.in.gov](mailto:web-ed@lafayette.in.gov) email account prior to the meeting.

## **Adjournment**

There being no further business to bring before the Commission, Kevin Klinker moved to adjourn the meeting. Patti Morgan seconded the motion. The motion passed unanimously with roll call vote and the meeting of the Historic Preservation Commission was adjourned at 7:25 pm.

*Respectfully submitted*  
*Michelle Conwell, Recording Secretary*

Approved: \_\_\_\_\_  
Glen Vick, Secretary  
Historic Preservation Commission

# LAFAYETTE HISTORIC PRESERVATION COMMISSION

515 Columbia Street Lafayette, IN 47901 765-807-1090

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)

OFFICE USE ONLY\*\*\*\*\*DO NOT COMPLETE ANY ENTRIES CONTAINED IN THIS BOX\*\*\*\*\*OFFICE USE ONLY

Date Received: 5/17/20 Date Approved COA Expires: \_\_\_\_\_  
LOCAL HISTORIC DISTRICT OF PROJECT UPPER MAIN ST.  
\_\_\_ Approved, \_\_\_ Approved with Amendments, \_\_\_ Denied, \_\_\_ Tabled, \_\_\_ Withdrawn by Owner  
Approved By: \_\_\_\_\_ Date: \_\_\_\_\_

ADDRESS OF PROJECT: 619 Ferry St. - Lafayette, IN

Brief description of proposed work: (Please PRINT CLEARLY or TYPE)

If necessary for description please attach additional sheet.

With fencing, protect western section of lawn facing old J/C bldg from trespassers so can be usable for outside rental events. Fence to be black metal fence, 4' tall on front side + 5' tall at back fence.

What are the approximate start and finish dates of the proposed work?

Start as soon as possible Completion state

depends also on what will allow + Mr. Fence - it is comfortable doing

Present use of property: green space only / unfortunately common path for trespassers

Proposed use of property: protected, designed outside space for rentals

APPLICANT (Please PRINT CLEARLY or TYPE)

Name: Thomas Duncan Hall, Inc  
Mailing Address: 619 Ferry St, Lafayette, IN 47901  
Phone: (765) 742-4788  
E-Mail: info@duncanhall.org

APPLICANT relationship to Owner  Contractor, \_\_\_ Architect, \_\_\_ Realtor, \_\_\_ Agent, \_\_\_ Other Board member  
as ->

PROPERTY OWNER (Please PRINT CLEARLY or TYPE)

Name: Thomas Duncan Hall Board of Directors  
Mailing Address: 619 Ferry St, Lafayette, IN 47901  
Phone: (765) 742-4788  
E-Mail: info@duncanhall.org

CONTRACTOR (Please PRINT CLEARLY or TYPE)

Name: Mr. Fence-IT (Mr. Gene Hurt)  
Mailing Address: 777 Cor-Dale Rd, Lafayette, IN 47904  
Phone: (765) 742-4822  
E-Mail: FAX: (765)-429-0459

CONTACT PERSON: Sandy Lahr Phone: (765) 742-6925  
E-Mail: lahrandslahr@gmail.com

ESTIMATED COST OF PROJECT: \$3,780.00

The Lafayette Historic Preservation Commission is a nine-member board who meets monthly to review the COA applications that are subject to commission review.

The Lafayette Historic Preservation Commission cannot render judgment nor process an Application without the specific documentation listed below. It is the Applicant/Owner who must provide comprehensive documentation of the proposed project with adequate information so that there is a complete understanding of the project for the commissioners and staff when rendering a decision. Applications will NOT be processed without all required or requested documentation. An incomplete COA application may delay the COA review process.

These items must have been completed before submitting application: (Please check yes or no below)

1. Are all zoning approvals met and in compliance for the proposed work? Yes  No
2. Are there any Variances pending or necessary for the proposed work? Yes  No

**Documentation to be submitted with application:** (Minimum requirements for all COA Applications)

(Please place a check-mark at each listed item below that you include with this application)

- Photos of building exterior (all visible elevations) maximum of 4 photos to a 8 1/2"x11" sheet
- Complete drawings of proposed project
- Floor plans of affected levels
- Exterior elevations of all areas where work will occur (minimum 11"x17" sheet)
- Signed application
- Site plan (If project affects ground floor exterior) *see pgs 2, 3, 4, 5*
- Sample or brochure plus specifications and color samples of all permanent materials to be used
- Written description of proposed project and 1 set of full-sized plans
- Photos of adjacent or attached structures showing locations of connection *(Duncan Hall dining rm. corner & g/c east side)*
- Electronic versions of complete drawings of the proposed project are acceptable

**NOTE:** See categories below for specific projects and additional documentation as applicable.

**WINDOW PROJECTS** (Additional Documentation)

(Check-mark all that apply)

- Elevation drawings of each window type
- Window section drawing(s): with head, sill, jamb, mullion, and muntins with all dimensions
- Condition statement of existing windows describing the type and extent of deterioration for windows to be removed or replaced. If replacement windows are proposed, submit photos showing condition and extent of deterioration.
- Note indicating whether or not windows are original
- Note on plan and elevations which windows are new and which are original to remain
- Note materials to fill in opening and indicate structure to be removed if applicable

*NA*

**DOOR(S) PROJECTS** (Additional Documentation)

(Check-mark all that apply)

- Close-up photo(s) of the existing door(s) to be replaced and photos of doors on adjacent buildings
- Condition statement of the existing doors describing the type and extent of deterioration
- Door elevation drawing(s) of each door type
- Door section(s)
- Note on plan and elevations which doors are new and which are original to remain

*NA*

**SIGNAGE (Additional Documentation)**

(Check-mark all that apply)

- Color photo(s) of the entire building with proposed location of the signage indicated.
- Close-up photo of the proposed signage location
- Detailed drawings showing the dimensions of the sign and how it will be attached to the building
- Description of the proposed sign and bracket materials, dimensions, sign lettering, signage lighting, and method of attachment to the building. We recommend you use existing holes where possible. If new anchorage holes are necessary, place anchorage in existing mortar joints and avoid damaging existing bricks and permanent exposed building materials.

NA

**Please note:** Signage area and permits must be approved by the City of Lafayette Engineering Department.

**STOREFRONTS/FACADES, AWNINGS, SHUTTERS, AND OTHER ARCHITECTURAL ELEMENTS**

(Additional Documentation)

(Check-mark all that apply)

- Clear description, photos and elevation drawings of proposed signage, lighting, awnings, security systems, and accessibility provisions (i.e. lifts, ramps, handrails etc.).
- Color photos/elevations showing storefront/ façade of all floors as they relate to all proposed work.
- Drawings specifying the plan, section, and construction details.

NA

**NEW CONSTRUCTION, ADDITIONS, GARAGES, AND CARRIAGE HOUSES (Additional Documentation)**

(Check-mark all that apply)

- Same requirements as listed on page 2 under **Documentation to be submitted with application**

NA

**STOOPS, STEPS, FENCES, HANDRAILS, PORCHES, AND BALCONIES (Additional Documentation)**

(Check-mark all that apply)

- Color photos and construction plans detailing the location of the proposed stoops, steps, fences, handrails, porches, and balconies. *see documentation section*
- Drawings specifying the proposed work, construction details, and installation method for all improvements under this section. *see brochure*
- PHOTOS* Drawings of existing conditions without the proposed work *see documentation section*

*inground - NO attachment to any bldg*

**ROOFS (Additional Documentation)**

(Check-mark all that apply)

- Color photos detailing the location of the roof(s)
- Drawings specifying the plans, construction details, and installation methods.

NA

**STREETSCAPING (Additional Documentation)**

(Check-mark all that apply)

- Drawings and specifications of proposed site plan, including trees, plantings, grates, sidewalk amenities, signage, art work, sculptures, fountains, benches, tables, seating, etc.
- Drawings of the existing conditions without the proposed work

**Please note:** If the COA is approved, any changes or amendments to the approved COA will require additional review by city staff or the Historic Preservation Commission. An approved COA is valid for 12 months from the date of approval of the COA. After 12 months COA application must be resubmitted and reapproved by the HPC or Staff to continue the project.

**REQUIRED SIGNATURE:** The undersigned certifies that the statements set forth in this application including all drawings and specifications submitted herewith are true and correct, and agrees that the proposed improvements described in this application will be constructed in all respects in accordance with the approved COA as specified in the application, drawings and specifications submitted herewith. The undersigned further agrees to abide by any amendments approved to be part of this project by the Lafayette Historic Preservation Commission or Staff.

Applicant: (Print clearly or type) Thomas Duncan Hall, Inc

Signature of Applicant: \_\_\_\_\_ Date: 5/11/20

Owner Print clearly or type) Board of Directors of Thomas Duncan Hall, Inc

Signature of Owner (if different): \_\_\_\_\_ Date: \_\_\_\_\_

**APPLICATIONS AND DOCUMENTATION:**

Applicant must provide 13 copies of the completed and signed COA Application and all documentation noted to be submitted with COA Application including: Materials to be used, detailed written description of the project with dimensions, drawings to scale, construction methods, finishes, manufacturing brochures and specifications as well as clearly labeled photographs of the building and affected areas. Plus any additional documentation as requested by Staff or the COA Committee. Electronic versions may be submitted if available in addition to the 13 copies noted above. The copies will be supplied to each Commissioner and the City Staff for the Lafayette Historic Preservation meeting.

The Commission follows the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitation Historic Buildings when reviewing applications. Applications should follow these standards and guidelines when applicable. Additional guidelines, Preservation Briefs, Bulletins and "The Resource Guide", can be accessed on line at [www.Lafayette.in.gov](http://www.Lafayette.in.gov)

Certain work in a Historic District may be approved by the Staff in lieu of being reviewed by the Lafayette Historic Preservation Commission, but the applicant will still be required to submit this application for Staff review with all documentation as noted for the proposed project.

**Staff is authorized to approve the following:** Signs that comply with the guidelines, Installation of storm windows, Installation of re-skinning of canvas awnings and canopies of a simple design, Installation of historically appropriate hand rails, Temporary removal of historic building components for the purpose of repair, Replacement of roof sheathing when there are no structural changes, Removal of chimneys that are only visible from the rear of a structure, Installation of stained or leaded glass windows, Installation of appropriate historical shutters, Removal of a non-original addition or alteration to a structure, and Extension of an approved COA for up to one additional year if the project scope has not changed. If questionable, please contact Staff to determine whether your project must be reviewed by the Lafayette Historic Preservation Commission.



MAJESTIC™

*one using*

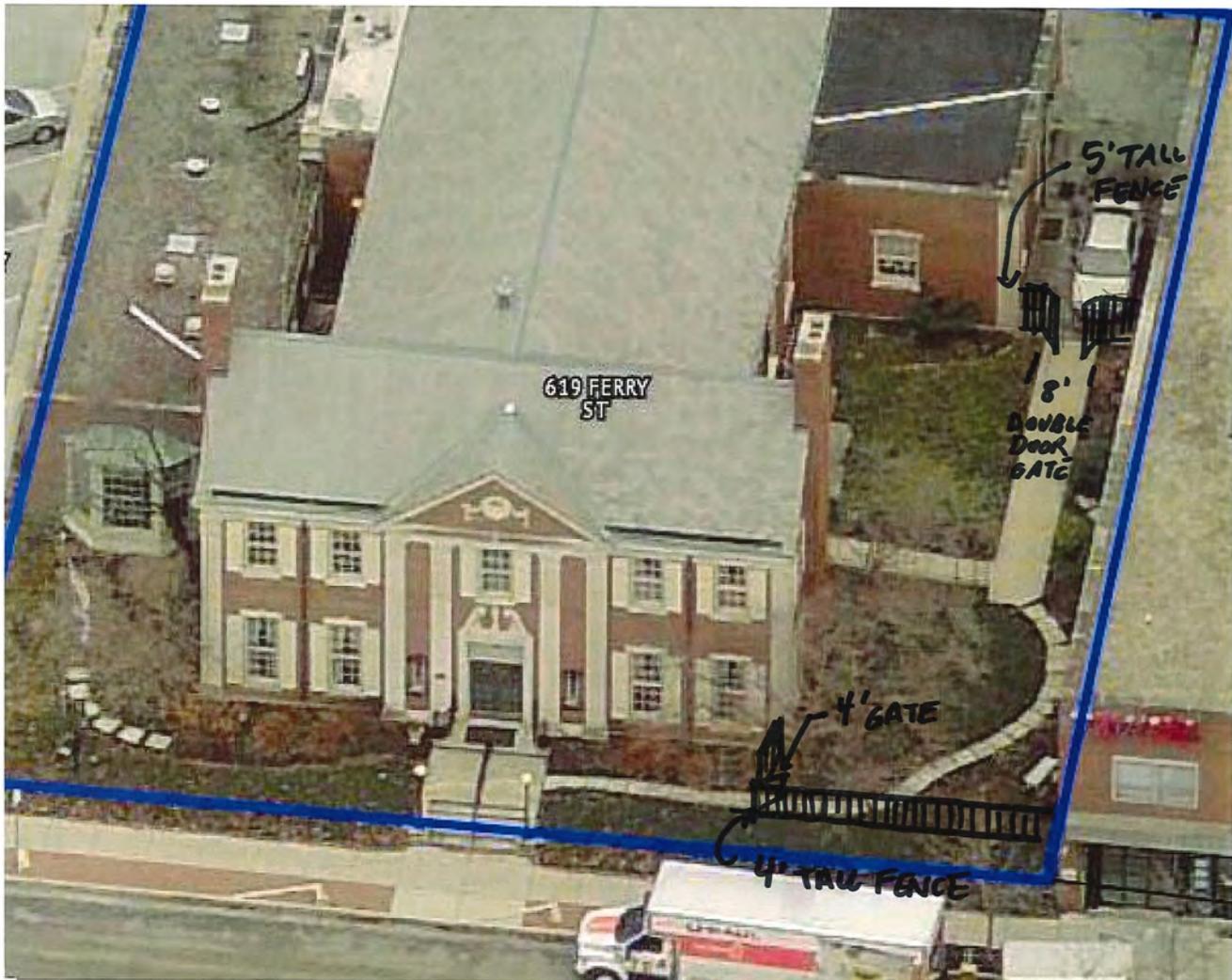
## *Modern Beauty*

Majestic's flush top rail projects a clean, streamlined look that make it one of the most popular styles in the Montage family. Single, double and arched walk gates that perfectly match this fence style are available as well.

❖ 2-rail panels in 3', 3½', 4' and 5' heights, with a standard or flush bottom rail

*using*

❖ 3-rail panels in 3', 3½', 4', 5' and 6' heights, with a standard or flush bottom rail (4½' panels available with flush bottom rail only)





616 Ferry St  
Lafayette, Indiana  
Google  
Street View

5' TALL  
FENCE  
AT BACK  
W/ 8' WIDE  
DOUBLE GATE

4' GATE

4' TALL FENCE

ter  
100°  
77° 51'  
48° 51'



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Date Received: 5/11/2020 Date Approved COA Expires: \_\_\_\_\_  
LOCAL HISTORIC DISTRICT OF PROJECT Upper Main Street  
Approved,  Approved with Amendments,  Denied,  Tabled,  Withdrawn by Owner  
Approved By: \_\_\_\_\_ Date: \_\_\_\_\_

ADDRESS OF PROJECT: 631 Main Street Lafayette, Indiana 47901

Brief description of proposed work: (Please PRINT CLEARLY or TYPE)

If necessary for description please attach additional sheet.  
See attached written description.

What are the approximate start and finish dates of the proposed work?

Start October 2020 Completion April 2022

Present use of property: Parking Lot

Proposed use of property: R-2 (Residential) 2nd-5th floors only, 1st floor retail spaces

APPLICANT (Please PRINT CLEARLY or TYPE)

Name: Barry Knechtel  
Mailing Address: 527 Sagamore Parkway West, West Lafayette, Indiana 47906  
Phone: 765-497-4598  
E-Mail barry@kjgarchitecture.com

APPLICANT relationship to Owner  Contractor,  Architect,  Realtor,  Agent,  Other

PROPERTY OWNER (Please PRINT CLEARLY or TYPE)

Name: Upper Main Development, LLC  
Mailing Address: 250 Main Street #590 Lafayette, Indiana 47901  
Phone: 765-269-4150  
E-Mail: andy.gutwein@gutweinlaw.com

CONTRACTOR (Please PRINT CLEARLY or TYPE)

Name: N/A  
Mailing Address: N/A  
Phone: N/A  
E-Mail: N/A

CONTACT PERSON: Barry Knechtel Phone: 765-497-4598  
E-Mail: barry@kjgarchitecture.com

ESTIMATED COST OF PROJECT: \$20 M

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These items must have been completed before submitting application: (Please check yes or no below)

1. Are all zoning approvals met and in compliance for the proposed work? Yes X No
2. Are there any Variances pending or necessary for the proposed work? Yes X No       
Parking

**Documentation to be submitted with application: (Minimum requirements for all COA Applications)**

(Please place a check-mark at each listed item below that you include with this application)

- X Photos of building exterior (all visible elevations) maximum of 4 photos to a 8 1/2"x11" sheet
- X Complete drawings of proposed project
- X Floor plans of affected levels
- X Exterior elevations of all areas where work will occur (minimum 11"x17" sheet)
- X Signed application
- X Site plan (If project affects ground floor exterior)
- X Sample or brochure plus specifications and color samples of all permanent materials to be used
- X Written description of proposed project ~~and 1 set of full-sized plans~~
- X Photos of adjacent or attached structures showing locations of connection
- X Electronic versions of complete drawings of the proposed project are acceptable

**NOTE: See categories below for specific projects and additional documentation as applicable.**

**WINDOW PROJECTS (Additional Documentation)**

(Check-mark all that apply)

- X Elevation drawings of each window type
- Window section drawing(s): with head, sill, jamb, mullion, and muntins with all dimensions
- Condition statement of existing windows describing the type and extent of deterioration for windows to be removed or replaced. If replacement windows are proposed, submit photos showing condition and extent of deterioration.
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(Check-mark all that apply)

- Close-up photo(s) of the existing door(s) to be replaced and photos of doors on adjacent buildings
- Condition statement of the existing doors describing the type and extent of deterioration
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**(Check-mark all that apply)**

- Color photo(s) of the entire building with proposed location of the signage indicated.
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**Please note:** Signage area and permits must be approved by the City of Lafayette Engineering Department.

**STOREFRONTS/FACADES, AWNINGS, SHUTTERS, AND OTHER ARCHITECTURAL ELEMENTS**

(Additional Documentation)

**(Check-mark all that apply)**

- Clear description, photos and elevation drawings of proposed signage, lighting, awnings, security systems, and accessibility provisions (i.e. lifts, ramps, handrails etc.).
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- Drawings specifying the plan, section, and construction details.

**NEW CONSTRUCTION, ADDITIONS, GARAGES, AND CARRIAGE HOUSES (Additional Documentation)**

**(Check-mark all that apply)**

- Same requirements as listed on page 2 under **Documentation to be submitted with application**

**STOOPS, STEPS, FENCES, HANDRAILS, PORCHES, AND BALCONIES (Additional Documentation)**

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- Drawings of existing conditions without the proposed work

**ROOFS (Additional Documentation)**

**(Check-mark all that apply)**

- Color photos detailing the location of the roof(s)
- Drawings specifying the plans, construction details, and installation methods.

**STREETSCAPING (Additional Documentation)**

**(Check-mark all that apply)**

- Drawings and specifications of proposed site plan, including trees, plantings, grates, sidewalk amenities, signage, art work, sculptures, fountains, benches, tables, seating, etc.
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**REQUIRED SIGNATURE:** The undersigned certifies that the statements set forth in this application including all drawings and specifications submitted herewith are true and correct, and agrees that the proposed improvements described in this application will be constructed in all respects in accordance with the approved COA as specified in the application, drawings and specifications submitted herewith. The undersigned further agrees to abide by any amendments approved to be part of this project by the Lafayette Historic Preservation Commission or Staff.

Applicant: (Print clearly or type) Barry Knechtel  
Signature of Applicant:  Date: 5/11/2020  
Owner Print clearly or type) Upper Main Development, LLC  
Signature of Owner (if different):  Date: 5/11/2020

**APPLICATIONS AND DOCUMENTATION:**

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**APPLICATION SUBMITTAL DEADLINE:**

This COA Application Form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting may not be considered by the Commission during their deliberation. Please call if you have any questions and Staff will assist you.

**MEETING ATTENDANCE:**

For COA applications requiring review by the Lafayette Historic Preservation Commission attendance at the Commission Meeting is strongly recommended to present the project and answer questions. The Commission will also hear public comments prior to making a decision on the project. Failure by the Owner, applicant or contractor to attend such meetings may result in denial of the Application due to insufficient presentation.

**INSPECTIONS:**

All projects will be inspected while work is in progress and upon completion of the project to ensure compliance with the approved COA.

Owner acknowledges that while the Lafayette Historic Preservation Commission only considers Certificates of Appropriateness for exterior features, under certain circumstances it may be necessary for the Commission Staff to have access to the interior of the building in order to accurately assess the condition of the exterior feature(s). The lack of access to the interior may prevent the Commission Staff from making a favorable recommendation.

Applicant **MUST** notify the Commission Staff upon completion of the approved COA work for a final inspection of the improvements.

**WORKING WITHOUT A COA / DENIAL OF A COA**

Lafayette Staff inspectors regularly inspect historic properties to ensure compliance with approved Certificates of Appropriateness. When additional work has been commenced without an approved COA, a Staff inspector may issue a stop work order and request that the Owner seek an addendum to the original COA to include any additional work, revisions or changes. Work undertaken without a Certificate of Appropriateness is in violation of Title 12 of the Lafayette City Code, and the Lafayette Historic Preservation Commission may require that unauthorized changes in a historic structure be reversed and or completed in a satisfactory manner. If the work continues, a building official may issue a citation with a fine and the Historic Preservation Commission may institute suit for injunction to restrain the Owner from further violation and to cause the violation to be prevented, abated or removed. Please contact the Staff if there is any question about changing the scope of the work approved.

\*Include here submittal deadline and HPC meeting dates. (Change page numbers as required for pages added if necessary)



## **631 MAIN STREET – NEW BUILDING LAFAYETTE, INDIANA**

### WRITTEN PROJECT DESCRIPTION.

DATE: May 11, 2020

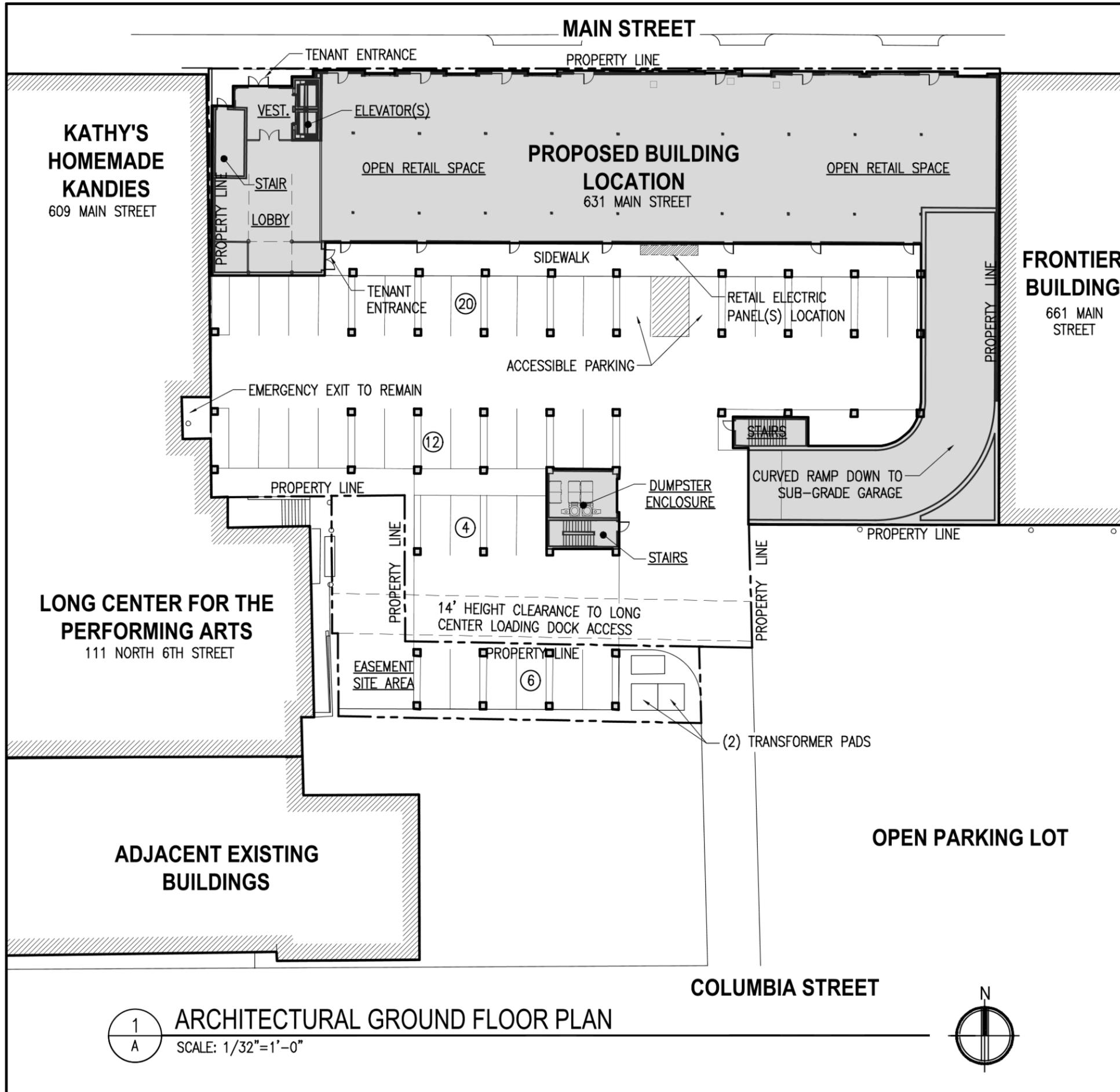
PROJECT: 631 Main Street Apts & Retail  
Project No. A2019.080

The 631 Main Street Apts & Retail project will be a new five-story building located at 631 Main Street in downtown Lafayette, Indiana. The 2<sup>nd</sup> through 5th floors will be divided into multiple dwelling units while the 1<sup>st</sup> floor will be apartment resident lobby and leasable commercial tenant space. A rooftop amenity area will be located on the west end of the roof for residents of the building.

The north elevation has been designed to emulate four separate façade, to give the building a more appropriate scale and sense of vertical orientation instead of a long, horizontal building. The south, west, and east elevations will have an accessory look to them, but with some detailing to give it a more upscale back elevation.

The north elevation utilizes a combination of brick veneer, limestone veneer, and fiber cement panels to give a stucco-like finish. Limestone or cast stone banding will provide horizontal lines at different floor levels. Juliet balconies will be used on the primary north façade, with some recessed balconies on the south side of the building. The façade will also utilize molded millwork moulding at the cornice to give a more history capital to the building.

All materials and the anticipated colors are shown on the individual elevations in the accompanying drawings. A 3D rendering of the north elevation will be provided at the time of the meeting.



### SITE DATA:

ZONING CLASSIFICATION: = CB  
(CENTRAL BUSINESS)

SITE AREA AREA: = 36,073 S.F.  
OWNED SITE AREA = (±0.83 ACRES)  
EASEMENT SITE AREA\* = 3,459 S.F.  
(±0.08 ACRES)  
TOTAL SITE AREA = 39,532 S.F.  
(±0.91 ACRES)

\*EASEMENT SITE AREA IS OWNED BY THE CITY, BUT GRANTING PERMISSION FOR CONSTRUCTION OVER THIS AREA PROVIDED ACCESS TO LONG CENTER LOADING DOCK IS PROVIDED.

BUILDING FOOTPRINT  
GROUND FLOOR FOOTPRINT = 16,675 S.F.  
COVERED AREA FOOTPRINT = 34,218 S.F.

PARKING SPACES PROVIDED:  
GROUND FLOOR STANDARD = 40  
GROUND FLOOR ACCESSIBLE = 2  
SUB-GRADE FLOOR STANDARD = 70  
SUB-GRADE FLOOR ACCESSIBLE = 2  
TOTAL SPACES PROVIDED = 114  
TOTAL SPACES REQUIRED = 102

LOT COVERAGE:  
MAXIMUM BUILDING COVERAGE = 100%  
MINIMUM VEGETATION COVERAGE = 0%

MINIMUM BUILDING SETBACKS:  
FRONT SETBACK: = 0'-0"  
SIDE SETBACK: = 0'-0"  
REAR SETBACK: = 0'-0"



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PROJECT TITLE:  
**631 MAIN STREET APARTMENTS & RETAIL  
UPPER MAIN MANAGEMENT**

631 MAIN STREET  
LAFAYETTE, IN 47901  
TIPPECANOE COUNTY

PROJECT DATE:

**05.11.2020**

PROJECT NUMBER:

**A2019.080**

DRAWN BY:

DRAWING TITLE:

**GROUND FLOOR  
PLAN**

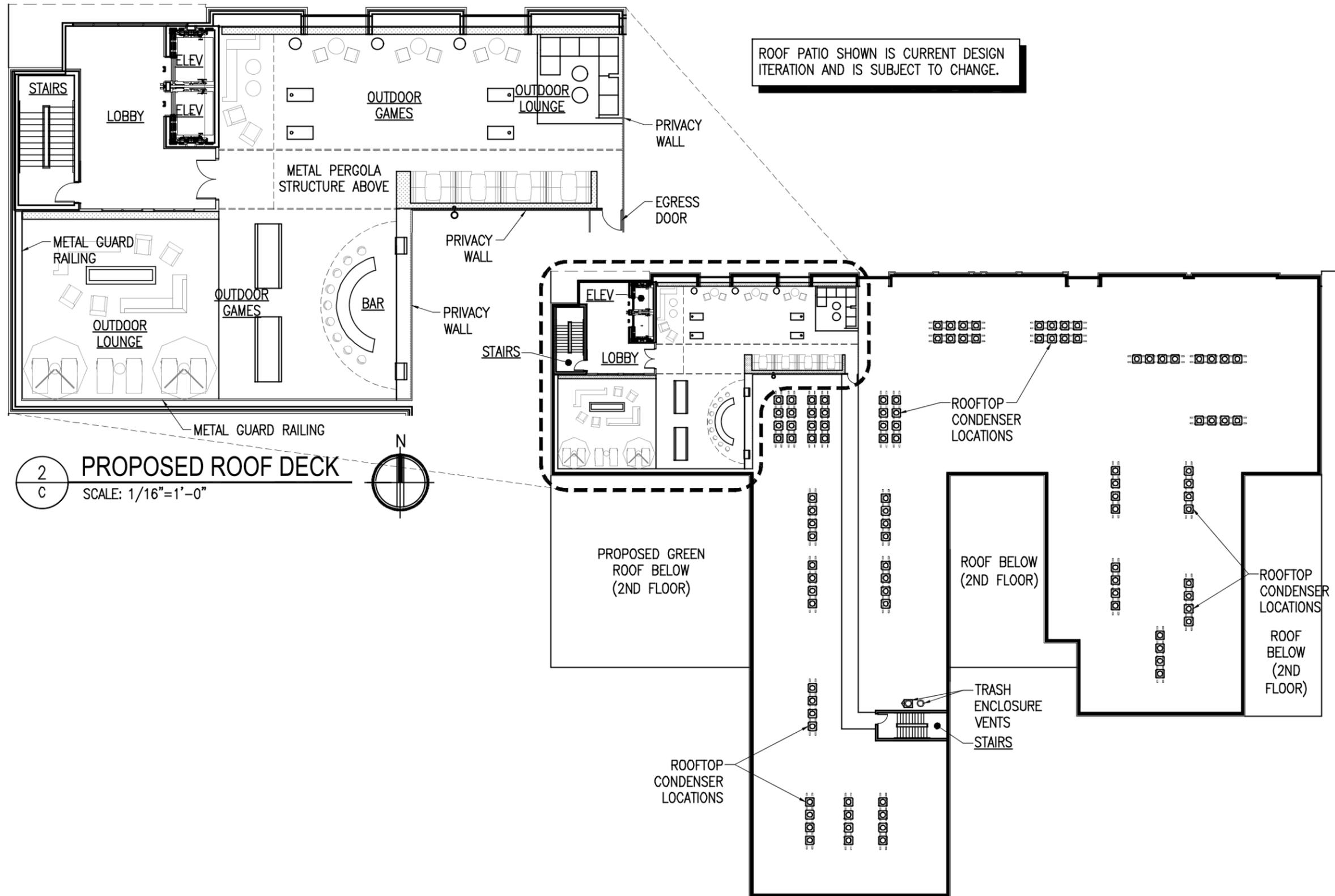
SHEET NUMBER:

**A**

1  
A ARCHITECTURAL GROUND FLOOR PLAN  
SCALE: 1/32"=1'-0"







2  
C  
**PROPOSED ROOF DECK**  
SCALE: 1/16"=1'-0"

1  
C  
**ROOF PLAN**  
SCALE: 1/32"=1'-0"



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DRAWING TITLE:  
**ROOF DECK PLAN**

SHEET NUMBER:

**C**

REIFERT BUILDING

FRONTIER BUILDING

631 MAIN STREET

LONG CENTER BEYOND

LAFAYETTE BUSINESS TOWER

2  
D

### ADJACENT BUILDING HEIGHTS ALONG MAIN STREET (LOOKING SOUTH)

SCALE: 1"=140'-0"

FIXED CLOTH AWNING (TYPICAL)  
MANUFACTURER: TBD  
COLOR/STYLE: TBD BY FUTURE TENANT  
REFERENCE IMAGE: 920 MAIN STREET

CHICAGO-STYLE WINDOWS (FIBERGLASS)  
MANUFACTURER: PELLA  
COLOR/STYLE: MORNING SKY GRAY\*  
REFERENCE IMAGE: 654 MAIN STREET

STOREFRONT WINDOWS (ALUMINUM)  
MANUFACTURER: KAWNEER  
COLOR/STYLE: CLEAR (NATURAL)  
REFERENCE IMAGE: 707 MAIN STREET

JULIET BALCONY (METAL)  
MANUFACTURER: TBD  
COLOR/STYLE: BLACK\*  
REFERENCE IMAGE: 226 NORTH 6TH STREET

CORNICE MOULDING  
MANUFACTURER: FYPON  
COLOR/PATTERN: WHITE  
REFERENCE IMAGE: PROFILE(S)

BRICK VENEER COLOR SELECTION  
BRICK COLOR 1: SUNDOWN  
BRICK COLOR 2: WARREN  
BRICK COLOR 3: VALENCIA  
BRICK COLOR 4: COLONIAL IRONSPOT  
BRICK COLOR 5: BLACK DIAMOND



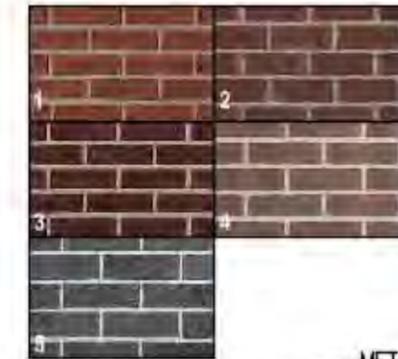
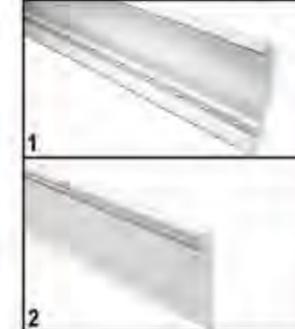
\*EXACT COLOR NOT SHOWN



\*EXACT COLOR NOT SHOWN



\*EXACT COLOR/STYLE NOT SHOWN  
SEE DOCUMENT H FOR ADDITIONAL DETAILS



1  
D

### NORTH EXTERIOR ELEVATION (VIEW FROM MAIN STREET)

SCALE: 1"=20'-0"

PROJECT TITLE:

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DRAWING TITLE:

NORTH EXTERIOR  
ELEVATION

SHEET NUMBER:

D



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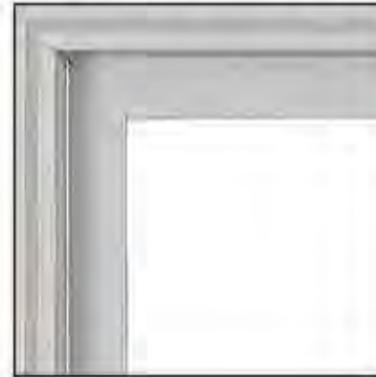
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**BRICK DETAILING**  
 MANUFACTURER: N/A  
 COLOR/STYLE: BRICK COLOR #3  
 REFERENCE IMAGE: 839 MAIN STREET  
 111 NORTH 6TH STREET



**TYPICAL WINDOWS (FIBERGLASS)**  
 MANUFACTURER: PELLA  
 COLOR/STYLE: MORNING SKY GRAY  
 REFERENCE IMAGE: MANUFACTURER



**JULIET BALCONY (METAL)**  
 MANUFACTURER: TBD  
 COLOR/STYLE: BLACK\*  
 REFERENCE IMAGE:  
 226 NORTH 6TH STREET

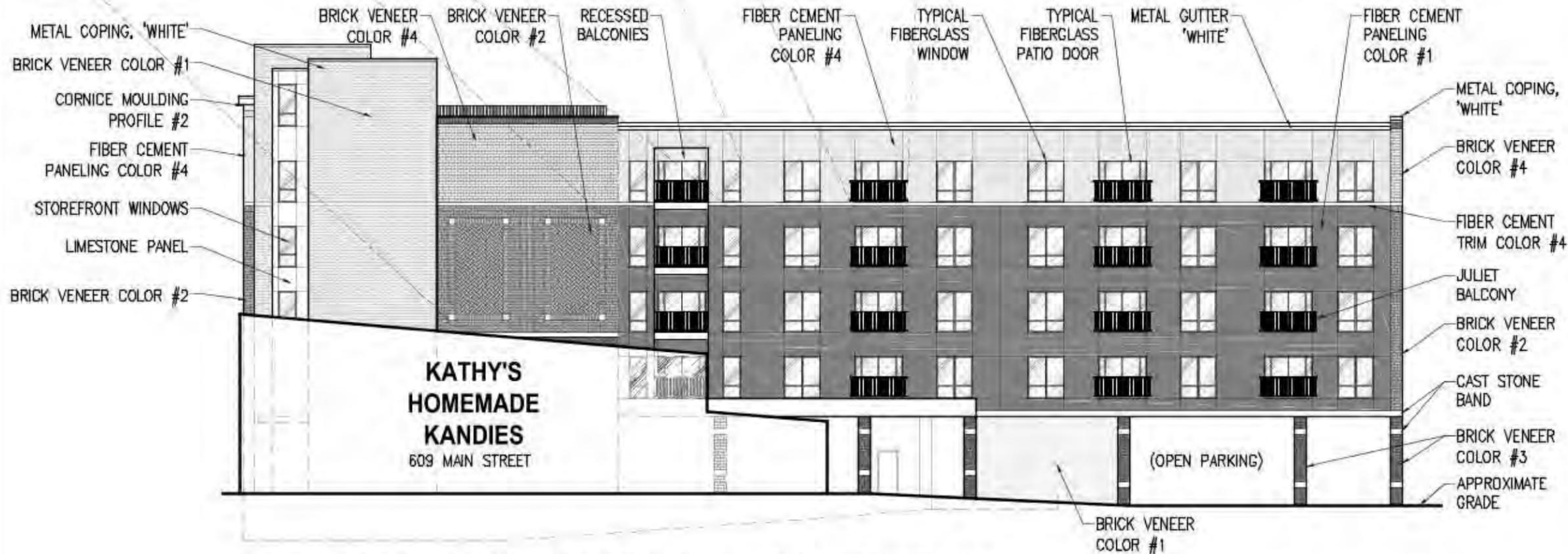
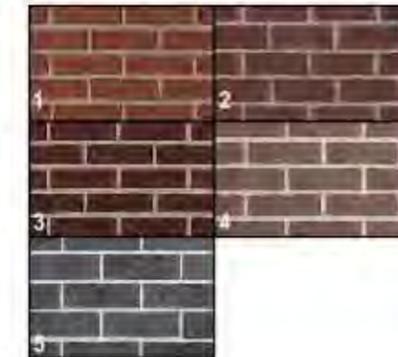


\*EXACT COLOR/STYLE NOT SHOWN  
 SEE DOCUMENT H FOR ADDITIONAL DETAILS

**FIBER CEMENT COLOR SELECTION**  
 FIBER CEMENT 1: SERIOUS GRAY SW 6256  
 FIBER CEMENT 2: EXTRA WHITE SW 7006  
 FIBER CEMENT 3: ANALYTICAL GRAY SW 7051  
 FIBER CEMENT 4: OLYMPUS WHITE SW 6253



**BRICK VENEER COLOR SELECTION**  
 BRICK COLOR 1: SUNDOWN  
 BRICK COLOR 2: WARREN  
 BRICK COLOR 3: VALENCIA  
 BRICK COLOR 4: COLONIAL IRONSPOT  
 BRICK COLOR 5: BLACK DIAMOND



**1 WEST EXTERIOR ELEVATION (VIEW FROM DOWNTOWN)**  
 E SCALE: 1"=20'-0"

PROJECT TITLE:  
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 UPPER MAIN MANAGEMENT**

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 LAFAYETTE, IN 47901  
 TIPPECANOE COUNTY

PROJECT DATE:  
**05.11.2020**

PROJECT NUMBER:  
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DRAWN BY:

DRAWING TITLE:  
**WEST EXTERIOR  
 ELEVATION**

SHEET NUMBER:

**E**



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**JULIET BALCONY (METAL)**  
 MANUFACTURER: TBD  
 COLOR/STYLE: BLACK\*  
 REFERENCE IMAGE:  
 226 NORTH 6TH STREET



\*EXACT COLOR/STYLE NOT SHOWN  
 SEE DOCUMENT H FOR ADDITIONAL DETAILS

**BRICK DETAILING**  
 MANUFACTURER: N/A  
 COLOR/STYLE: BRICK COLOR #3  
 REFERENCE IMAGE: 839 MAIN STREET  
 111 NORTH 6TH STREET



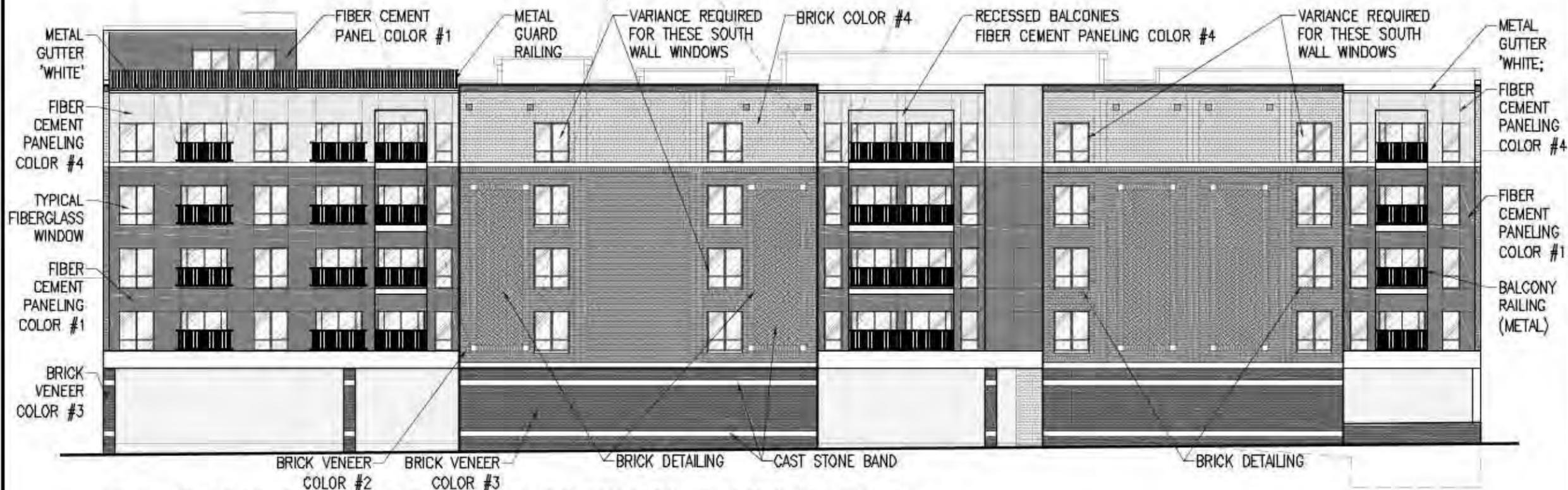
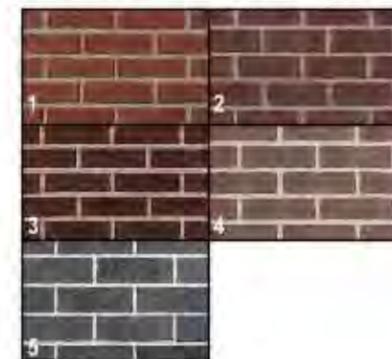
**TYPICAL WINDOWS (FIBERGLASS)**  
 MANUFACTURER: PELLA  
 COLOR/STYLE: MORNING SKY GRAY  
 REFERENCE IMAGE: MANUFACTURER



**FIBER CEMENT COLOR SELECTION**  
 FIBER CEMENT 1: SERIOUS GRAY SW 6256  
 FIBER CEMENT 2: EXTRA WHITE SW 7006  
 FIBER CEMENT 3: ANALYTICAL GRAY SW 7051  
 FIBER CEMENT 4: OLYMPUS WHITE SW 6253



**BRICK VENEER COLOR SELECTION**  
 BRICK COLOR 1: SUNDOWN  
 BRICK COLOR 2: WARREN  
 BRICK COLOR 3: VALENCIA  
 BRICK COLOR 4: COLONIAL IRONSPOT  
 BRICK COLOR 5: BLACK DIAMOND



**1 SOUTH EXTERIOR ELEVATION (VIEW FROM COLUMBIA STREET)**  
 SCALE: 1"=20'-0"

PROJECT TITLE:  
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PROJECT DATE:  
**05.11.2020**

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DRAWING TITLE:  
**SOUTH EXTERIOR  
 ELEVATION**

SHEET NUMBER:

**F**



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**JULIET BALCONY (METAL)**  
 MANUFACTURER: TBD  
 COLOR/STYLE: BLACK\*  
 REFERENCE IMAGE:  
 226 NORTH 6TH STREET



\*EXACT COLOR/STYLE NOT SHOWN  
 SEE DOCUMENT H FOR ADDITIONAL DETAILS

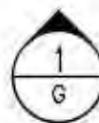
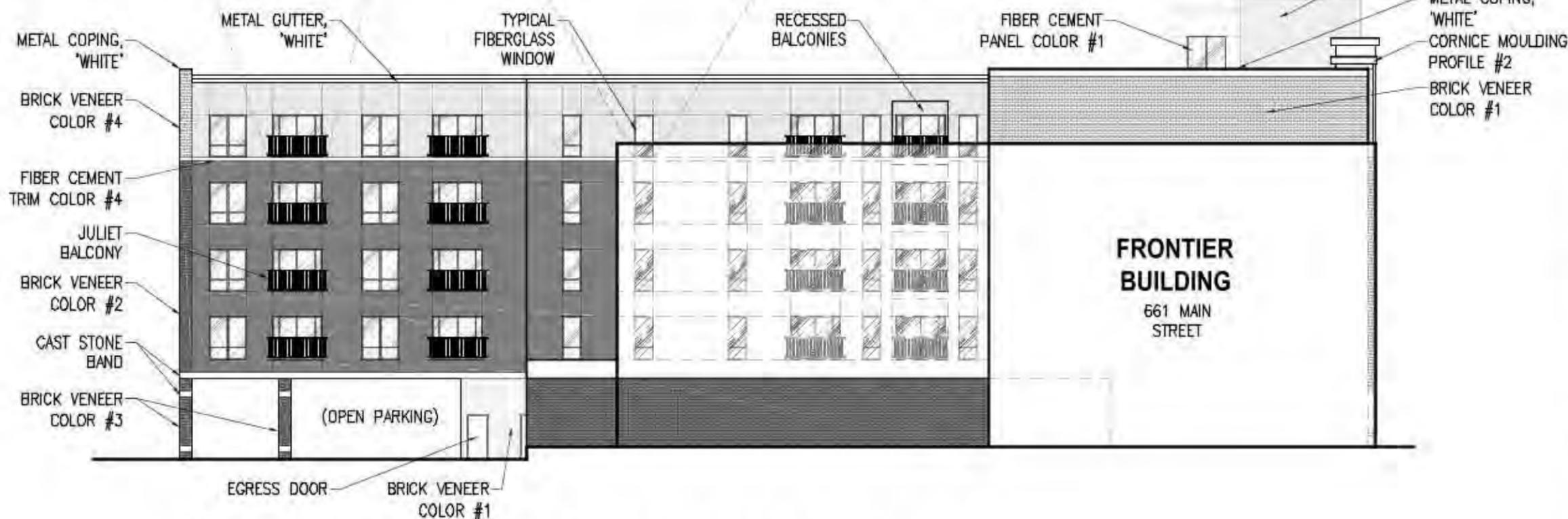
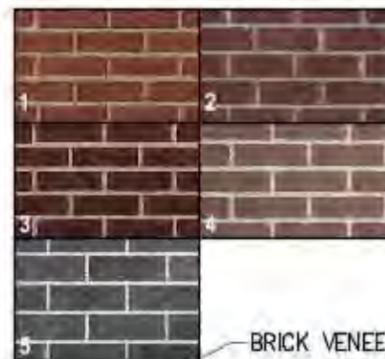
**TYPICAL WINDOWS (FIBERGLASS)**  
 MANUFACTURER: PELLA  
 COLOR/STYLE: MORNING SKY GRAY  
 REFERENCE IMAGE: MANUFACTURER



**FIBER CEMENT COLOR SELECTION**  
 FIBER CEMENT 1: SERIOUS GRAY SW 6256  
 FIBER CEMENT 2: EXTRA WHITE SW 7006  
 FIBER CEMENT 3: ANALYTICAL GRAY SW 7051  
 FIBER CEMENT 4: OLYMPUS WHITE SW 6253



**BRICK VENEER COLOR SELECTION**  
 BRICK COLOR 1: SUNDOWN  
 BRICK COLOR 2: WARREN  
 BRICK COLOR 3: VALENCIA  
 BRICK COLOR 4: COLONIAL IRONSPOT  
 BRICK COLOR 5: BLACK DIAMOND



**EAST EXTERIOR ELEVATION (VIEW FROM UPPER MAIN)**

SCALE: 1"=20'-0"

PROJECT TITLE:  
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 UPPER MAIN MANAGEMENT**

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 TIPPECANOE COUNTY

PROJECT DATE:

**05.11.2020**

PROJECT NUMBER:  
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DRAWING TITLE:  
**EAST EXTERIOR  
 ELEVATION**

SHEET NUMBER:

**G**



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PROJECT DATE:

**05.11.2020**

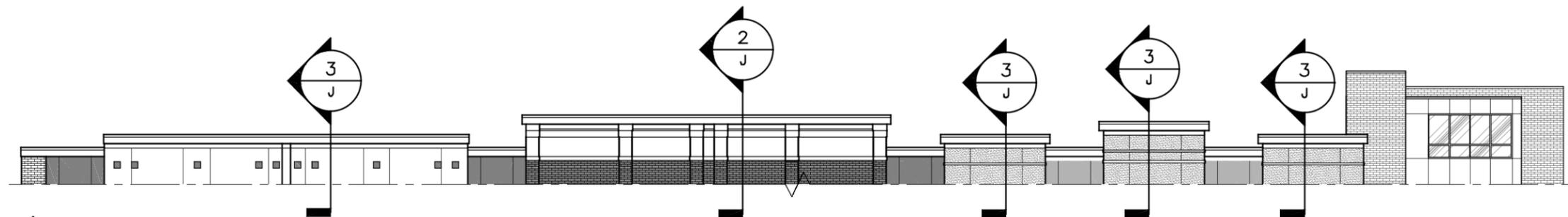
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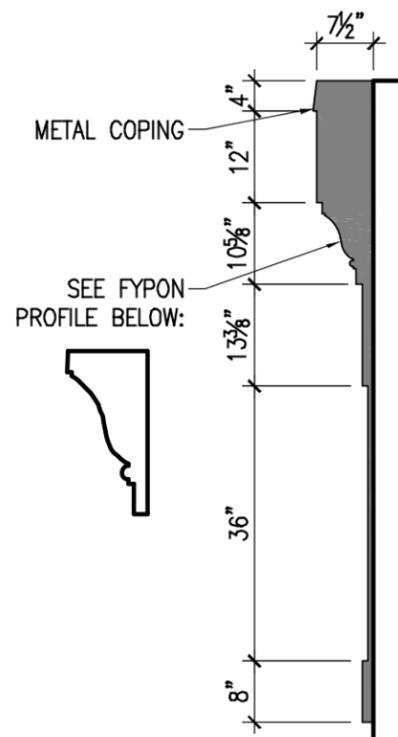
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**ELEVATION DETAILS**

SHEET NUMBER:

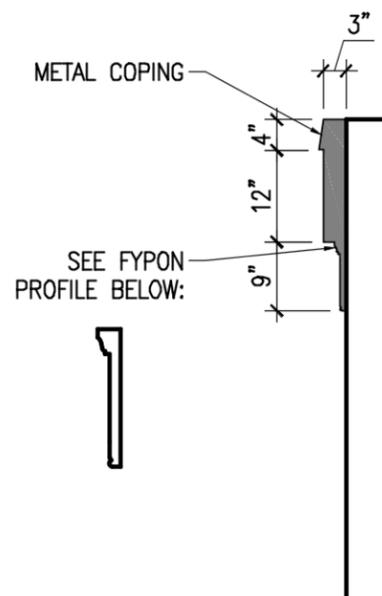
**H**



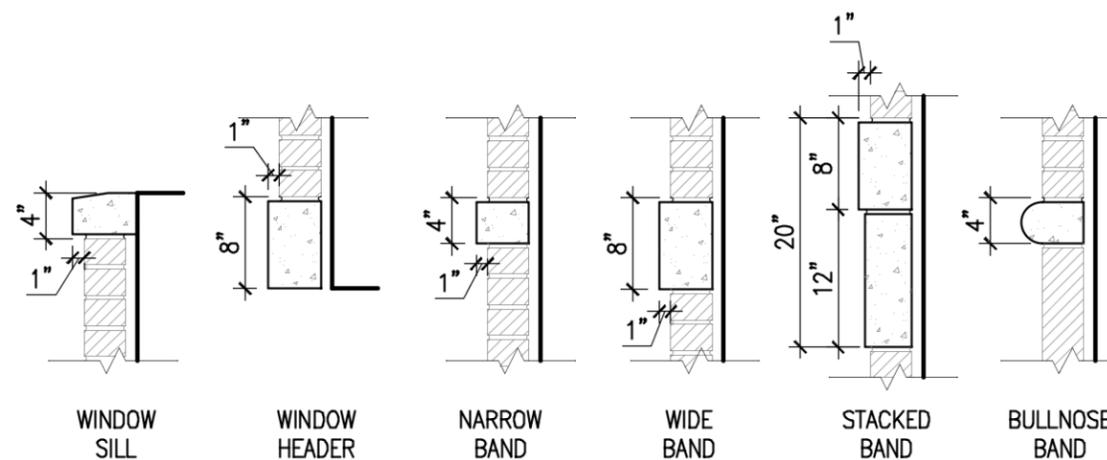
**1**  
H  
**PARAPET AND CORNICE ELEVATION DETAIL (NORTH ELEVATION)**  
SCALE: 1"=20'-0"



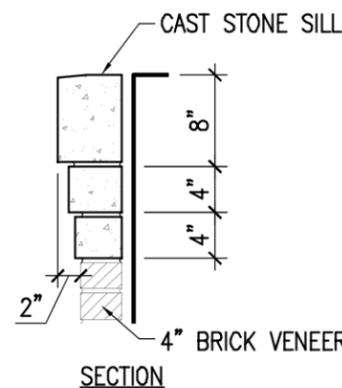
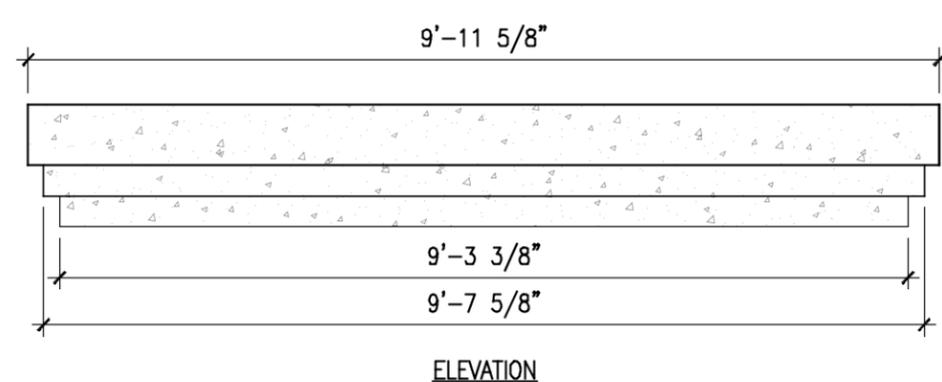
**2**  
H  
**CORNICE PROFILE 'A'**  
SCALE: 1/2"=1'-0"



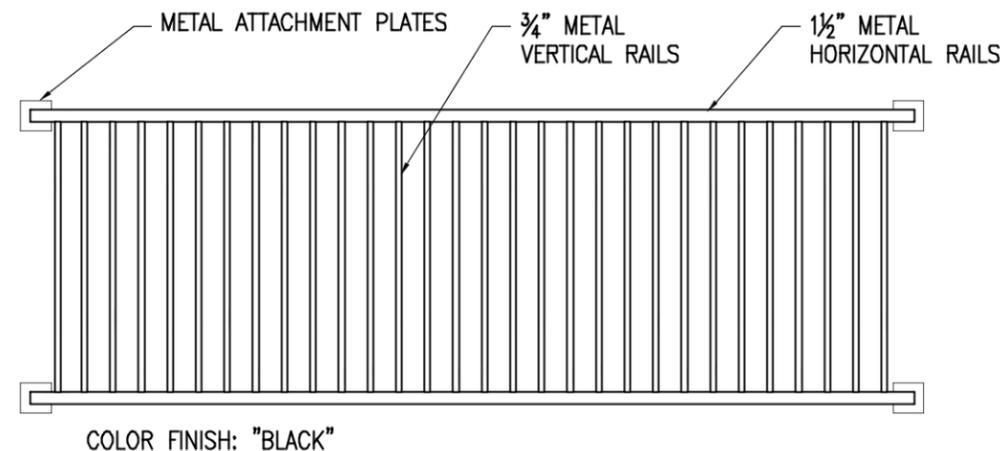
**3**  
H  
**CORNICE PROFILE 'B'**  
SCALE: 1/2"=1'-0"



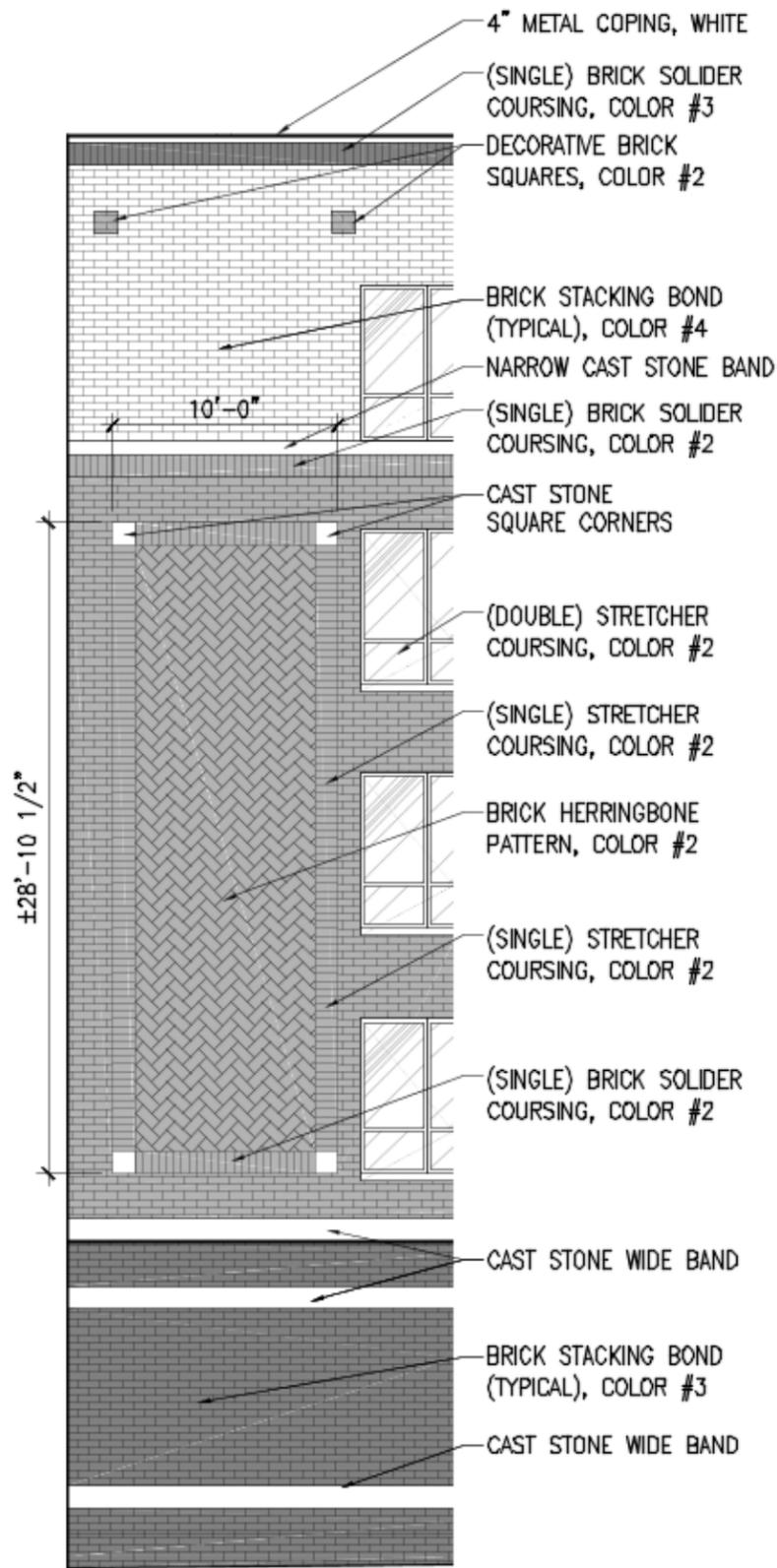
**4**  
H  
**CAST STONE HEADERS AND BANDS PROFILES**  
SCALE: 3/4"=1'-0"



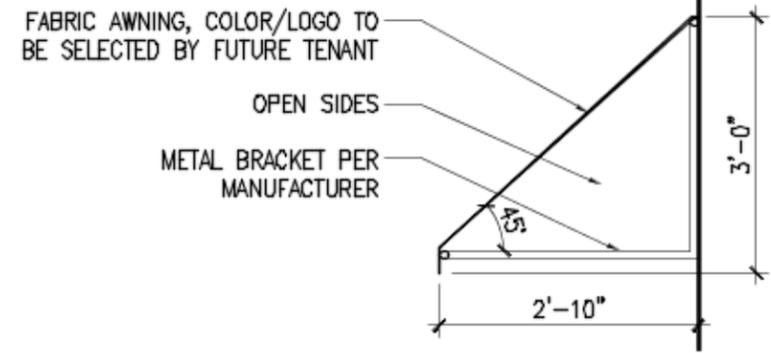
**5**  
H  
**JULIET BALCONY SILL ELEVATION / SECTION**  
SCALE: 1/2"=1'-0"      SCALE: 3/4"=1'-0"



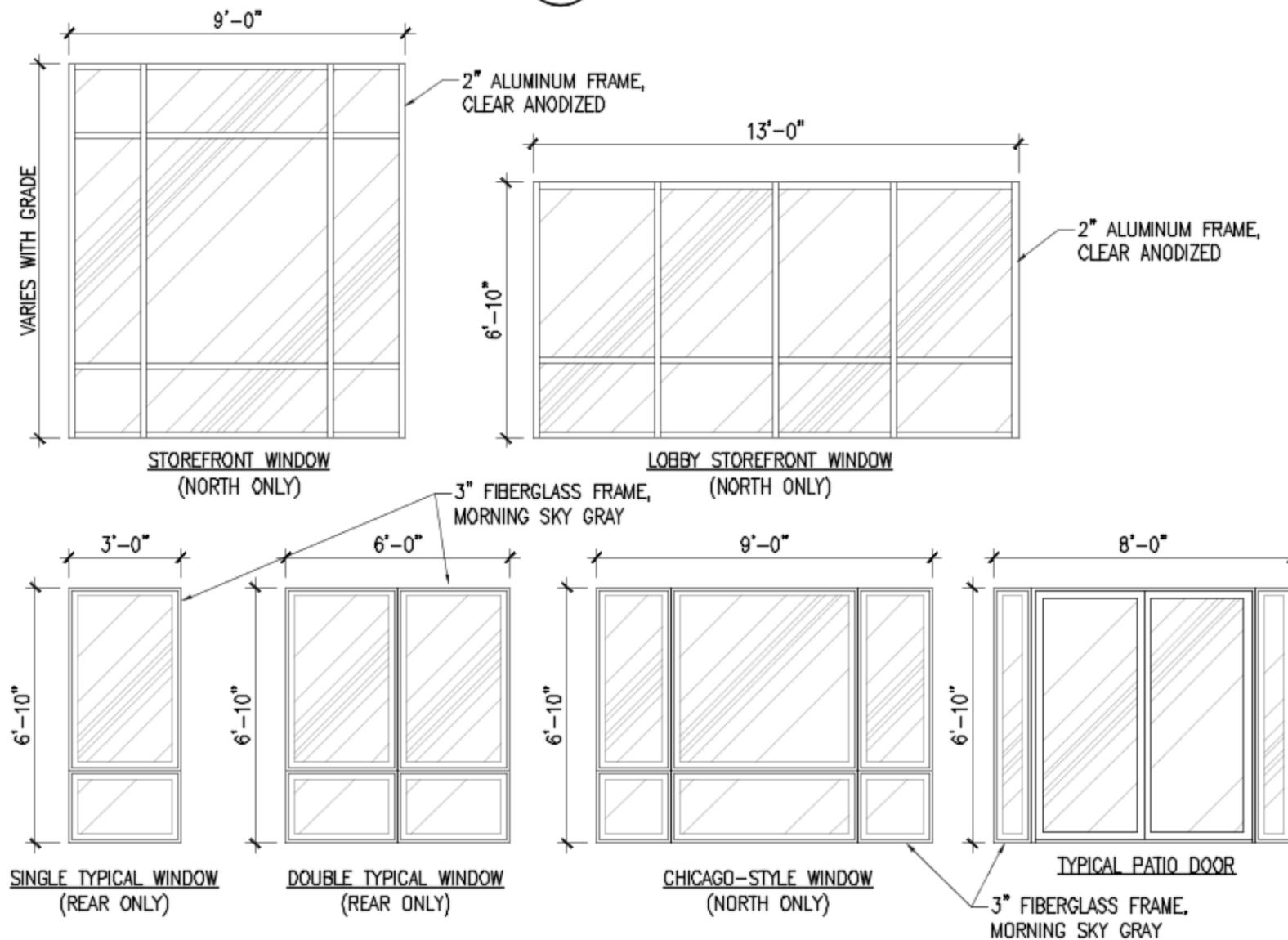
**6**  
H  
**JULIET BALCONY METAL RAILING ELEVATIONS**  
SCALE: 1/2"=1'-0"  
COLOR FINISH: "BLACK"



**1**  
 J  
**BRICK DETAILING (TYPICAL)**  
 SCALE: 1/8"=1'-0"



**3**  
 J  
**AWNING SECTION**  
 SCALE: 3/4"=1'-0"



**2**  
 J  
**TYPICAL WINDOW ELEVATIONS**  
 SCALE: 3/8"=1'-0"

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 TIPPECANOE COUNTY**

**PROJECT DATE:**  
**05.11.2020**

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**DRAWING TITLE:**  
**ELEVATION DETAILS**

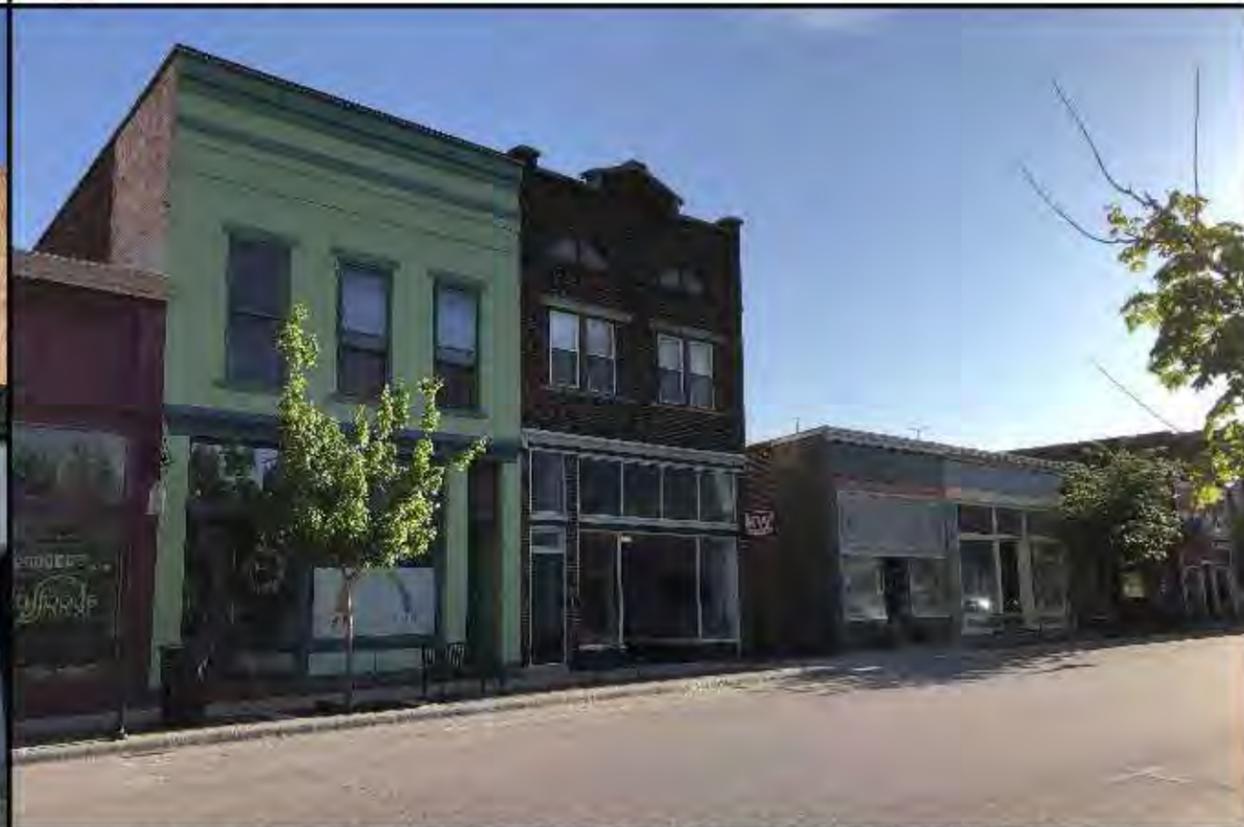
**SHEET NUMBER:**

**J**



1  
K MAIN STREET LOOKING SOUTHEAST  
SCALE: N.T.S.

2  
K MAIN STREET LOOKING SWHVEST  
SCALE: N.T.S.



3  
K MAIN STREET LOOKING NORTHWEST  
SCALE: N.T.S.

4  
K MAIN STREET LOOKING NORTHEAST  
SCALE: N.T.S.



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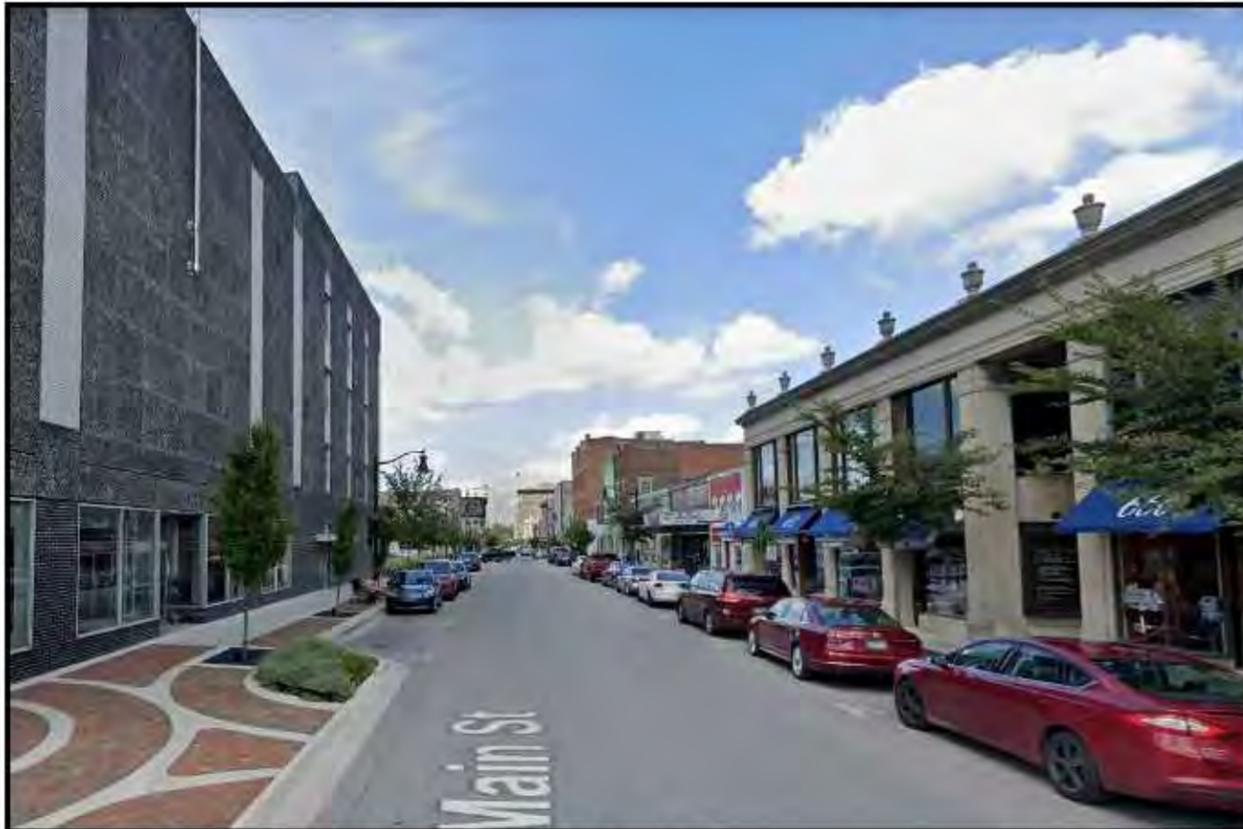
PROJECT NUMBER:  
**A2019.080**

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DRAWING TITLE:  
**REFERENCE IMAGES**

SHEET NUMBER:

**K**



1  
L  
MAIN STREET LOOKING WEST  
SCALE: N.T.S.

2  
L  
MAIN STREET LOOKING EAST  
SCALE: N.T.S.



3  
L  
COLUMBIA STREET LOOKING NORTH  
SCALE: N.T.S.



4  
L  
LONG CENTER ON NORTH 6TH STREET  
SCALE: N.T.S.

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**REFERENCE IMAGES**

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2  
HOURS  
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