

LAFAYETTE HISTORIC PRESERVATION COMMISSION

515 Columbia Street Lafayette, IN 47901 765-807-1090

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)

OFFICE USE ONLY*****DO NOT COMPLETE ANY ENTRIES CONTAINED IN THIS BOX*****OFFICE USE ONLY

Date Received: 5/11/2020 Date Approved COA Expires: _____
LOCAL HISTORIC DISTRICT OF PROJECT Upper Main Street
Approved, Approved with Amendments, Denied, Tabled, Withdrawn by Owner
Approved By: _____ Date: _____

ADDRESS OF PROJECT: 631 Main Street Lafayette, Indiana 47901

Brief description of proposed work: (Please PRINT CLEARLY or TYPE)

If necessary for description please attach additional sheet.
See attached written description.

What are the approximate start and finish dates of the proposed work?

Start October 2020 Completion April 2022

Present use of property: Parking Lot

Proposed use of property: R-2 (Residential) 2nd-5th floors only, 1st floor retail spaces

APPLICANT (Please PRINT CLEARLY or TYPE)

Name: Barry Knechtel
Mailing Address: 527 Sagamore Parkway West, West Lafayette, Indiana 47906
Phone: 765-497-4598
E-Mail barry@kjgarchitecture.com

APPLICANT relationship to Owner Contractor, Architect, Realtor, Agent, Other

PROPERTY OWNER (Please PRINT CLEARLY or TYPE)

Name: Upper Main Development, LLC
Mailing Address: 250 Main Street #590 Lafayette, Indiana 47901
Phone: 765-269-4150
E-Mail: andy.gutwein@gutweinlaw.com

CONTRACTOR (Please PRINT CLEARLY or TYPE)

Name: N/A
Mailing Address: N/A
Phone: N/A
E-Mail: N/A

CONTACT PERSON: Barry Knechtel Phone: 765-497-4598
E-Mail: barry@kjgarchitecture.com

ESTIMATED COST OF PROJECT: \$20 M

The Lafayette Historic Preservation Commission is a nine-member board who meets monthly to review the COA applications that are subject to commission review.

The Lafayette Historic Preservation Commission cannot render judgment nor process an Application without the specific documentation listed below. It is the Applicant/Owner who must provide comprehensive documentation of the proposed project with adequate information so that there is a complete understanding of the project for the commissioners and staff when rendering a decision. Applications will NOT be processed without all required or requested documentation. An incomplete COA application may delay the COA review process.

These items must have been completed before submitting application: (Please check yes or no below)

1. Are all zoning approvals met and in compliance for the proposed work? Yes X No
2. Are there any Variances pending or necessary for the proposed work? Yes X No
Parking

Documentation to be submitted with application: (Minimum requirements for all COA Applications)

(Please place a check-mark at each listed item below that you include with this application)

- X Photos of building exterior (all visible elevations) maximum of 4 photos to a 8 1/2"x11" sheet
- X Complete drawings of proposed project
- X Floor plans of affected levels
- X Exterior elevations of all areas where work will occur (minimum 11"x17" sheet)
- X Signed application
- X Site plan (If project affects ground floor exterior)
- X Sample or brochure plus specifications and color samples of all permanent materials to be used
- X Written description of proposed project ~~and 1 set of full-sized plans~~
- X Photos of adjacent or attached structures showing locations of connection
- X Electronic versions of complete drawings of the proposed project are acceptable

NOTE: See categories below for specific projects and additional documentation as applicable.

WINDOW PROJECTS (Additional Documentation)

(Check-mark all that apply)

- X Elevation drawings of each window type
- Window section drawing(s): with head, sill, jamb, mullion, and muntins with all dimensions
- Condition statement of existing windows describing the type and extent of deterioration for windows to be removed or replaced. If replacement windows are proposed, submit photos showing condition and extent of deterioration.
- X Note indicating whether or not windows are original
- X Note on plan and elevations which windows are new and which are original to remain
- Note materials to fill in opening and indicate structure to be removed if applicable

DOOR(S) PROJECTS (Additional Documentation)

(Check-mark all that apply)

- Close-up photo(s) of the existing door(s) to be replaced and photos of doors on adjacent buildings
- Condition statement of the existing doors describing the type and extent of deterioration
- Door elevation drawing(s) of each door type
- Door section(s)
- X Note on plan and elevations which doors are new and which are original to remain

SIGNAGE (Additional Documentation)

(Check-mark all that apply)

- Color photo(s) of the entire building with proposed location of the signage indicated.
- Close-up photo of the proposed signage location
- Detailed drawings showing the dimensions of the sign and how it will be attached to the building
- Description of the proposed sign and bracket materials, dimensions, sign lettering, signage lighting, and method of attachment to the building. We recommend you use existing holes where possible. If new anchorage holes are necessary, place anchorage in existing mortar joints and avoid damaging existing bricks and permanent exposed building materials.

Please note: Signage area and permits must be approved by the City of Lafayette Engineering Department.

STOREFRONTS/FACADES, AWNINGS, SHUTTERS, AND OTHER ARCHITECTURAL ELEMENTS

(Additional Documentation)

(Check-mark all that apply)

- Clear description, photos and elevation drawings of proposed signage, lighting, awnings, security systems, and accessibility provisions (i.e. lifts, ramps, handrails etc.).
- Color photos/elevations showing storefront/ façade of all floors as they relate to all proposed work.
- Drawings specifying the plan, section, and construction details.

NEW CONSTRUCTION, ADDITIONS, GARAGES, AND CARRIAGE HOUSES (Additional Documentation)

(Check-mark all that apply)

- Same requirements as listed on page 2 under **Documentation to be submitted with application**

STOOPS, STEPS, FENCES, HANDRAILS, PORCHES, AND BALCONIES (Additional Documentation)

(Check-mark all that apply)

- Color photos and construction plans detailing the location of the proposed stoops, steps, fences, handrails, porches, and balconies.
- Drawings specifying the proposed work, construction details, and installation method for all improvements under this section.
- Drawings of existing conditions without the proposed work

ROOFS (Additional Documentation)

(Check-mark all that apply)

- Color photos detailing the location of the roof(s)
- Drawings specifying the plans, construction details, and installation methods.

STREETSCAPING (Additional Documentation)

(Check-mark all that apply)

- Drawings and specifications of proposed site plan, including trees, plantings, grates, sidewalk amenities, signage, art work, sculptures, fountains, benches, tables, seating, etc.
- Drawings of the existing conditions without the proposed work

Please note: If the COA is approved, any changes or amendments to the approved COA will require additional review by city staff or the Historic Preservation Commission. An approved COA is valid for 12 months from the date of approval of the COA. After 12 months COA application must be resubmitted and reapproved by the HPC or Staff to continue the project.

REQUIRED SIGNATURE: The undersigned certifies that the statements set forth in this application including all drawings and specifications submitted herewith are true and correct, and agrees that the proposed improvements described in this application will be constructed in all respects in accordance with the approved COA as specified in the application, drawings and specifications submitted herewith. The undersigned further agrees to abide by any amendments approved to be part of this project by the Lafayette Historic Preservation Commission or Staff.

Applicant: (Print clearly or type) Barry Knechtel
Signature of Applicant:  Date: 5/11/2020
Owner Print clearly or type) Upper Main Development, LLC
Signature of Owner (if different):  Date: 5/11/2020

APPLICATIONS AND DOCUMENTATION:

Applicant must provide 13 copies of the completed and signed COA Application and all documentation noted to be submitted with COA Application including: Materials to be used, detailed written description of the project with dimensions, drawings to scale, construction methods, finishes, manufacturing brochures and specifications as well as clearly labeled photographs of the building and affected areas. Plus any additional documentation as requested by Staff or the COA Committee. Electronic versions may be submitted if available in addition to the 13 copies noted above. The copies will be supplied to each Commissioner and the City Staff for the Lafayette Historic Preservation meeting.

The Commission follows the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitation Historic Buildings when reviewing applications. Applications should follow these standards and guidelines when applicable. Additional guidelines, Preservation Briefs, Bulletins and "The Resource Guide", can be accessed on line at www.Lafayette.in.gov

Certain work in a Historic District may be approved by the Staff in lieu of being reviewed by the Lafayette Historic Preservation Commission, but the applicant will still be required to submit this application for Staff review with all documentation as noted for the proposed project.

Staff is authorized to approve the following: Signs that comply with the guidelines, Installation of storm windows, Installation of re-skinning of canvas awnings and canopies of a simple design, Installation of historically appropriate hand rails, Temporary removal of historic building components for the purpose of repair, Replacement of roof sheathing when there are no structural changes, Removal of chimneys that are only visible from the rear of a structure, Installation of stained or leaded glass windows, Installation of appropriate historical shutters, Removal of a non-original addition or alteration to a structure, and Extension of an approved COA for up to one additional year if the project scope has not changed. If questionable, please contact Staff to determine whether your project must be reviewed by the Lafayette Historic Preservation Commission.

APPLICATION SUBMITTAL DEADLINE:

This COA Application Form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting may not be considered by the Commission during their deliberation. Please call if you have any questions and Staff will assist you.

MEETING ATTENDANCE:

For COA applications requiring review by the Lafayette Historic Preservation Commission attendance at the Commission Meeting is strongly recommended to present the project and answer questions. The Commission will also hear public comments prior to making a decision on the project. Failure by the Owner, applicant or contractor to attend such meetings may result in denial of the Application due to insufficient presentation.

INSPECTIONS:

All projects will be inspected while work is in progress and upon completion of the project to ensure compliance with the approved COA.

Owner acknowledges that while the Lafayette Historic Preservation Commission only considers Certificates of Appropriateness for exterior features, under certain circumstances it may be necessary for the Commission Staff to have access to the interior of the building in order to accurately assess the condition of the exterior feature(s). The lack of access to the interior may prevent the Commission Staff from making a favorable recommendation.

Applicant **MUST** notify the Commission Staff upon completion of the approved COA work for a final inspection of the improvements.

WORKING WITHOUT A COA / DENIAL OF A COA

Lafayette Staff inspectors regularly inspect historic properties to ensure compliance with approved Certificates of Appropriateness. When additional work has been commenced without an approved COA, a Staff inspector may issue a stop work order and request that the Owner seek an addendum to the original COA to include any additional work, revisions or changes. Work undertaken without a Certificate of Appropriateness is in violation of Title 12 of the Lafayette City Code, and the Lafayette Historic Preservation Commission may require that unauthorized changes in a historic structure be reversed and or completed in a satisfactory manner. If the work continues, a building official may issue a citation with a fine and the Historic Preservation Commission may institute suit for injunction to restrain the Owner from further violation and to cause the violation to be prevented, abated or removed. Please contact the Staff if there is any question about changing the scope of the work approved.

*Include here submittal deadline and HPC meeting dates. (Change page numbers as required for pages added if necessary)



631 MAIN STREET – NEW BUILDING LAFAYETTE, INDIANA

WRITTEN PROJECT DESCRIPTION.

DATE: May 11, 2020

PROJECT: 631 Main Street Apts & Retail
Project No. A2019.080

The 631 Main Street Apts & Retail project will be a new five-story building located at 631 Main Street in downtown Lafayette, Indiana. The 2nd through 5th floors will be divided into multiple dwelling units while the 1st floor will be apartment resident lobby and leasable commercial tenant space. A rooftop amenity area will be located on the west end of the roof for residents of the building.

The north elevation has been designed to emulate four separate façade, to give the building a more appropriate scale and sense of vertical orientation instead of a long, horizontal building. The south, west, and east elevations will have an accessory look to them, but with some detailing to give it a more upscale back elevation.

The north elevation utilizes a combination of brick veneer, limestone veneer, and fiber cement panels to give a stucco-like finish. Limestone or cast stone banding will provide horizontal lines at different floor levels. Juliet balconies will be used on the primary north façade, with some recessed balconies on the south side of the building. The façade will also utilize molded millwork moulding at the cornice to give a more history capital to the building.

All materials and the anticipated colors are shown on the individual elevations in the accompanying drawings. A 3D rendering of the north elevation will be provided at the time of the meeting.



KJG Architecture, Inc.

527 Sagamore Parkway W., Suite 101
West Lafayette, Indiana 47906
Office: 765.497.4598 Fax: 765.497.4599
www.kjgarchitecture.com

PROJECT TITLE:
**631 MAIN STREET APARTMENTS & RETAIL
UPPER MAIN MANAGEMENT**

631 MAIN STREET
LAFAYETTE, IN 47901
TIPPECANOE COUNTY

PROJECT DATE:

05.15.2020

PROJECT NUMBER:

A2019.080

DRAWN BY:

DRAWING TITLE:
RENDERING

SHEET NUMBER:

A



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TIPPECANOE COUNTY**

PROJECT DATE:
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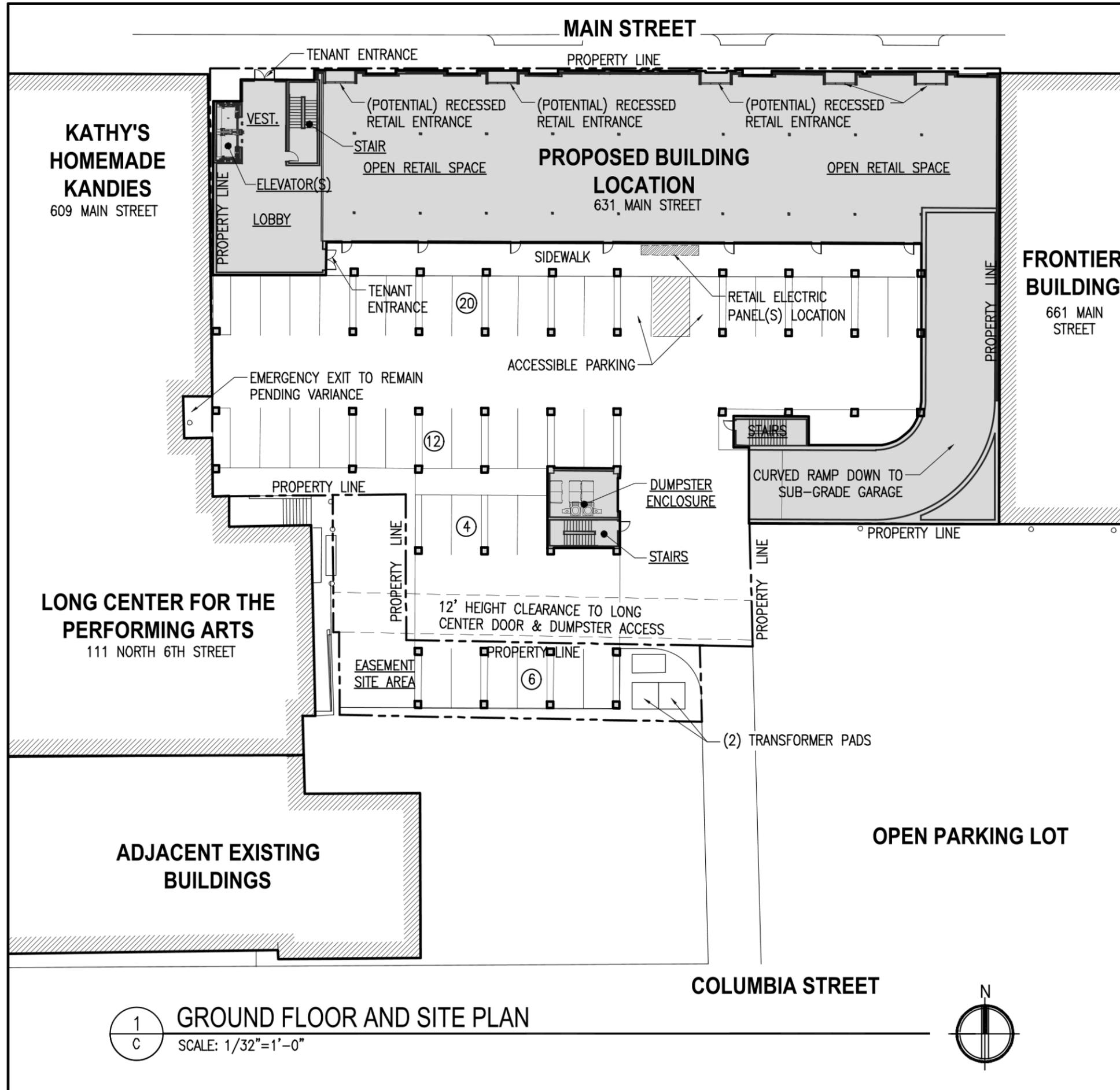
PROJECT NUMBER:
A2019.080

DRAWN BY:

DRAWING TITLE:
RENDERING

SHEET NUMBER:

B



SITE DATA:

ZONING CLASSIFICATION: = CB
(CENTRAL BUSINESS)

SITE AREA AREA:
OWNED SITE AREA = 36,073 S.F.
(±0.83 ACRES)
EASEMENT SITE AREA* = 3,459 S.F.
(±0.08 ACRES)
TOTAL SITE AREA = 39,532 S.F.
(±0.91 ACRES)

*EASEMENT SITE AREA IS OWNED BY THE CITY, BUT GRANTING PERMISSION FOR CONSTRUCTION OVER THIS AREA PROVIDED ACCESS TO LONG CENTER LOADING DOCK IS PROVIDED.

BUILDING FOOTPRINT
GROUND FLOOR FOOTPRINT = 16,675 S.F.
COVERED AREA FOOTPRINT = 34,218 S.F.

PARKING SPACES PROVIDED:
GROUND FLOOR STANDARD = 40
GROUND FLOOR ACCESSIBLE = 2
SUB-GRADE FLOOR STANDARD = 70
SUB-GRADE FLOOR ACCESSIBLE = 2
TOTAL SPACES PROVIDED = 114
TOTAL SPACES REQUIRED = 102

LOT COVERAGE:
MAXIMUM BUILDING COVERAGE = 100%
MINIMUM VEGETATION COVERAGE = 0%

MINIMUM BUILDING SETBACKS:
FRONT SETBACK: = 0'-0"
SIDE SETBACK: = 0'-0"
REAR SETBACK: = 0'-0"



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LAFAYETTE, IN 47901
TIPPECANOE COUNTY

PROJECT DATE:
05.15.2020

PROJECT NUMBER: **A2019.080**
DRAWN BY:

DRAWING TITLE:
**GROUND FLOOR
PLAN**

SHEET NUMBER:

C

1
C
GROUND FLOOR AND SITE PLAN
SCALE: 1/32" = 1'-0"



BUILDING DATA:

BUILDING AREA:

SUB-GRADE FLOOR AREA:	=	29,959 SF
GROUND FLOOR AREA:	=	15,978 SF
2ND FLOOR AREA:	=	27,075 SF
3RD FLOOR AREA:	=	27,075 SF
4TH FLOOR AREA:	=	27,075 SF
5TH FLOOR AREA:	=	27,075 SF
ROOF LOBBY AREA:	=	930 SF
TOTAL BUILDING AREA:	=	155,167 SF

BUILDING HEIGHT:

MAXIMUM BUILDING HEIGHT	=	75'-0"
		(PER IBC)
ACTUAL BUILDING HEIGHT	=	74'-8"

APARTMENT UNIT MIX:

UNIT	BEDS	BATHS	COUNT	AREA
UNIT SA	1	1	4	527 SF
UNIT 1A	1	1	28	636 SF
UNIT 1B	1	1	12	685 SF
UNIT 1C	1	1	6	607 SF
UNIT 1D	1	1	8	644 SF
UNIT 2A	2	2	12	1,026 SF
UNIT 2B	2	2	4	1,213 SF
UNIT 2C	2	2	20	905 SF
UNIT 2D	2	2	4	1,220 SF
UNIT 2E	2	2	4	1,183 SF
TOTAL	146	146	102	-



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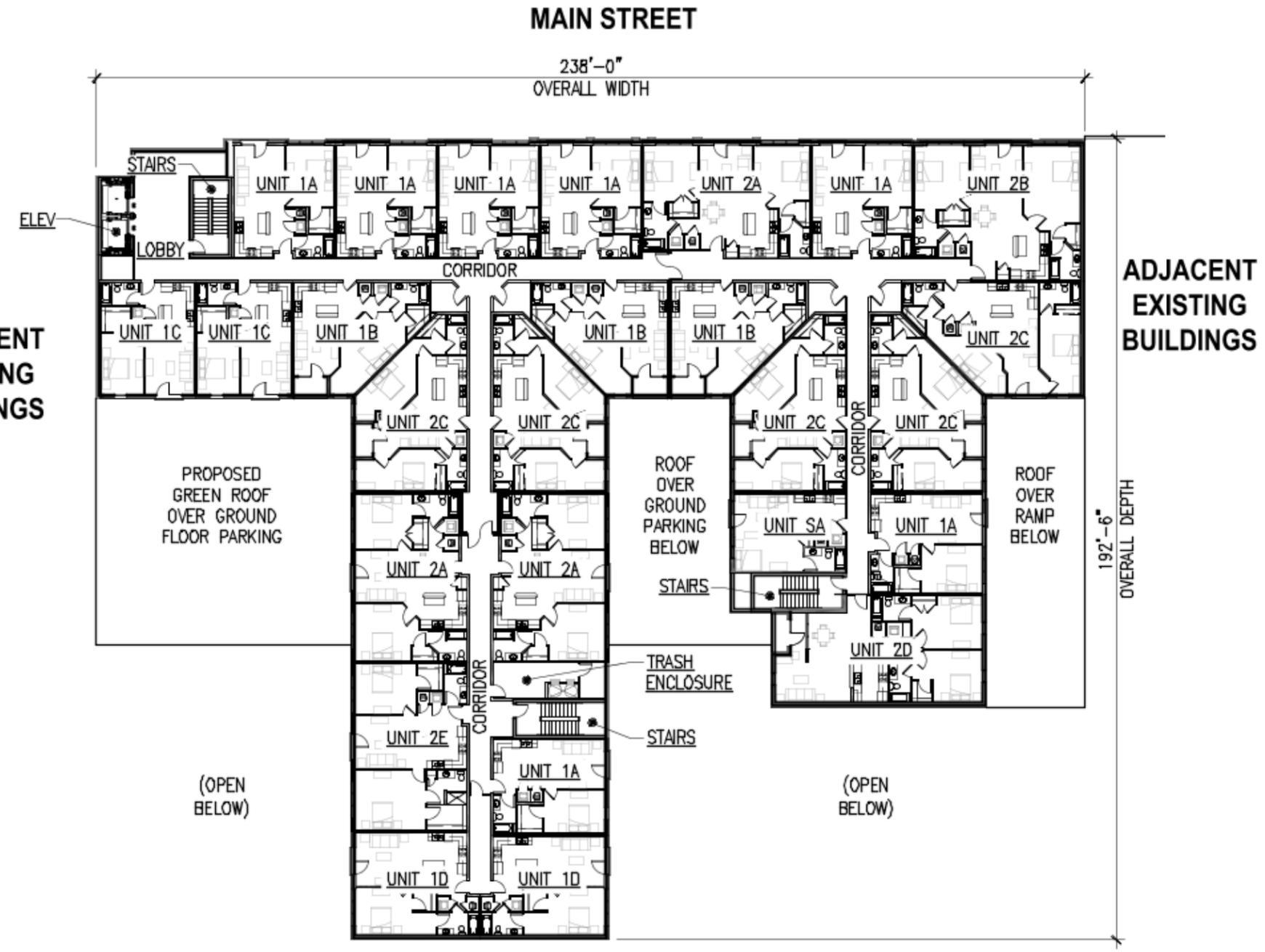
631 MAIN STREET
 LAFAYETTE, IN 47901
 TIPPECANOE COUNTY

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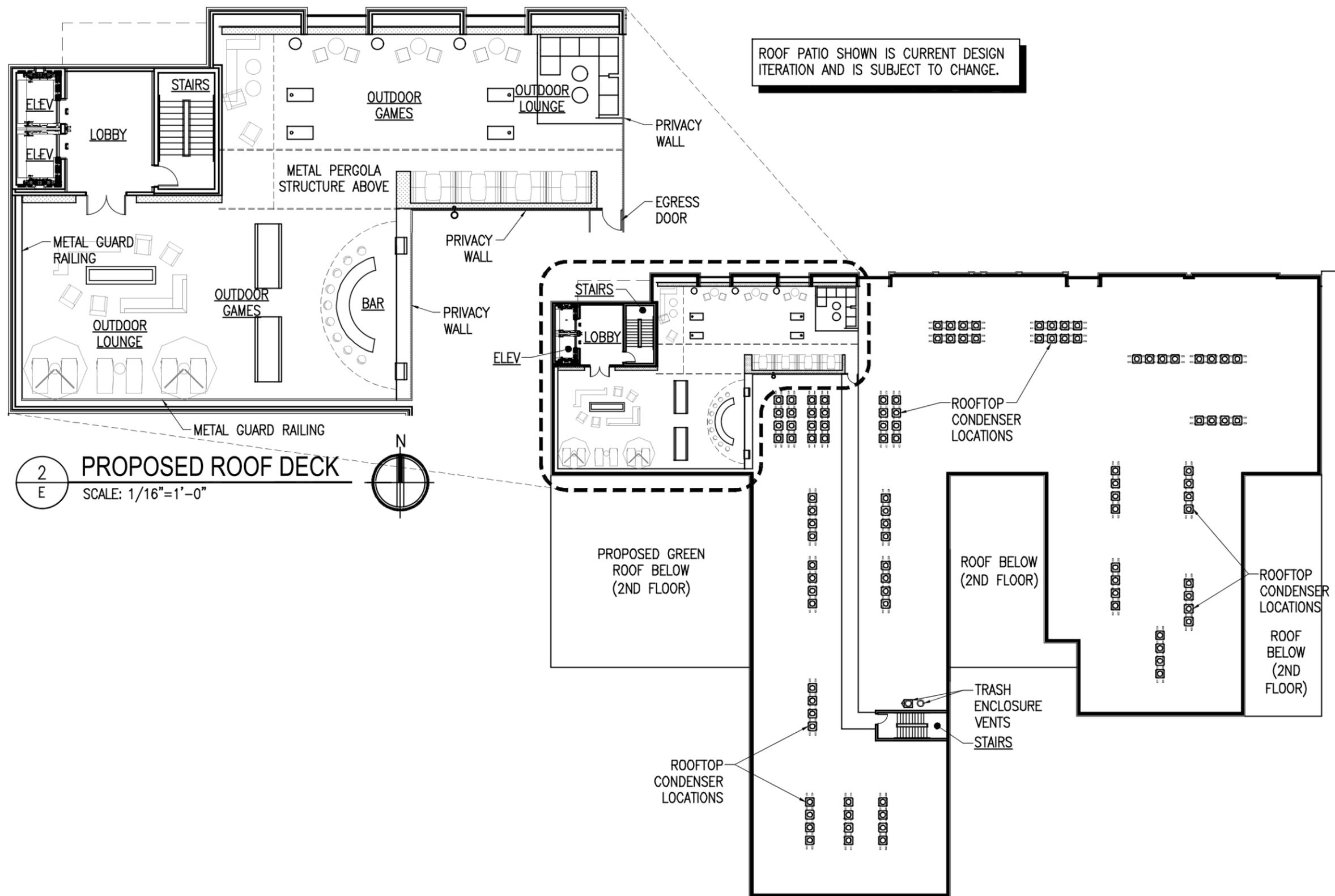
DRAWING TITLE:
**TYPICAL UPPER
 FLOOR PLAN**

SHEET NUMBER:
D



1
D
TYPICAL UPPER FLOOR PLAN(S)
 SCALE: 1/32"=1'-0"





2
E
PROPOSED ROOF DECK
SCALE: 1/16"=1'-0"

1
E
ROOF PLAN
SCALE: 1/32"=1'-0"

ROOF PATIO SHOWN IS CURRENT DESIGN ITERATION AND IS SUBJECT TO CHANGE.



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631 MAIN STREET
LAFAYETTE, IN 47901
TIPPECANOE COUNTY

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DRAWN BY:

DRAWING TITLE:
ROOF DECK PLAN

SHEET NUMBER:

E

REIFERT BUILDING

FRONTIER BUILDING

631 MAIN STREET

LONG CENTER BEYOND

LAFAYETTE BUSINESS TOWER

2
F

ADJACENT BUILDING HEIGHTS ALONG MAIN STREET (LOOKING SOUTH)

SCALE: 1"=140'-0"

FIXED CLOTH AWNING (TYPICAL)
MANUFACTURER: TBD
COLOR/STYLE: TBD BY FUTURE TENANT
REFERENCE IMAGE: 920 MAIN ST

CHICAGO-STYLE WINDOWS (FIBERGLASS)
MANUFACTURER: MILGARD
COLOR/STYLE: BLACK*
REFERENCE IMAGE: 654 MAIN ST

TYPICAL WINDOWS (FIBERGLASS)
MANUFACTURER: MILGARD
COLOR/STYLE: BLACK*
REFERENCE IMAGE: 622 MAIN ST

STOREFRONT WINDOWS (ALUMINUM)
MANUFACTURER: KAWNEER
COLOR/STYLE: BLACK*
REFERENCE IMAGE: 610 MAIN ST

JULIET BALCONY (METAL)
MANUFACTURER: TBD
COLOR/STYLE: BLACK*
REFERENCE IMAGE: 226 NORTH 6TH STREET

BRICK VENEER COLOR SELECTION
BRICK COLOR 1: SUNDOWN
BRICK COLOR 2: WARREN
BRICK COLOR 3: VALENCIA
BRICK COLOR 4: COLONIAL IRONSPOT
BRICK COLOR 5: BLACK DIAMOND



*EXACT COLOR NOT SHOWN



*EXACT STYLE NOT SHOWN
SEE DOCUMENT L FOR ADDITIONAL DETAILS



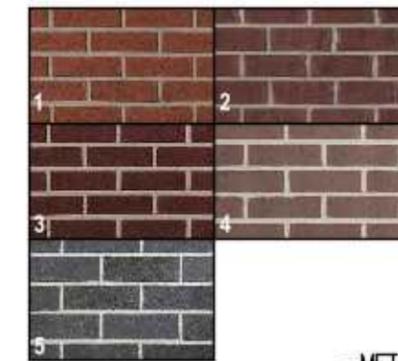
*EXACT STYLE NOT SHOWN
SEE DOCUMENT L FOR ADDITIONAL DETAILS



*EXACT STYLE NOT SHOWN
SEE DOCUMENT L FOR ADDITIONAL DETAILS



*EXACT COLOR/STYLE NOT SHOWN
SEE DOCUMENT K FOR ADDITIONAL DETAILS



1
F

NORTH EXTERIOR ELEVATION (VIEW FROM MAIN STREET)

SCALE: 1"=20'-0"

PROJECT TITLE:

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UPPER MAIN MANAGEMENT**

631 MAIN STREET
LAFAYETTE, IN 47901
TIPPECANOE COUNTY

PROJECT DATE:

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DRAWING TITLE:

**NORTH EXTERIOR
ELEVATION**

SHEET NUMBER:

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BRICK DETAILING
 MANUFACTURER: N/A
 COLOR/STYLE: PER ELEVATION
 REFERENCE IMAGE: 839 MAIN STREET
 111 NORTH 6TH STREET



TYPICAL WINDOWS (FIBERGLASS)
 MANUFACTURER: MILGARD
 COLOR/STYLE: BLACK*
 REFERENCE IMAGE: MANUFACTURER

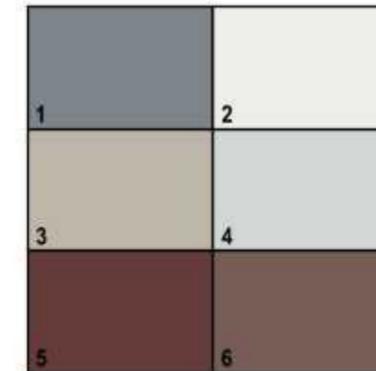


JULIET BALCONY (METAL)
 MANUFACTURER: TBD
 COLOR/STYLE: BLACK*
 REFERENCE IMAGE:
 226 NORTH 6TH STREET

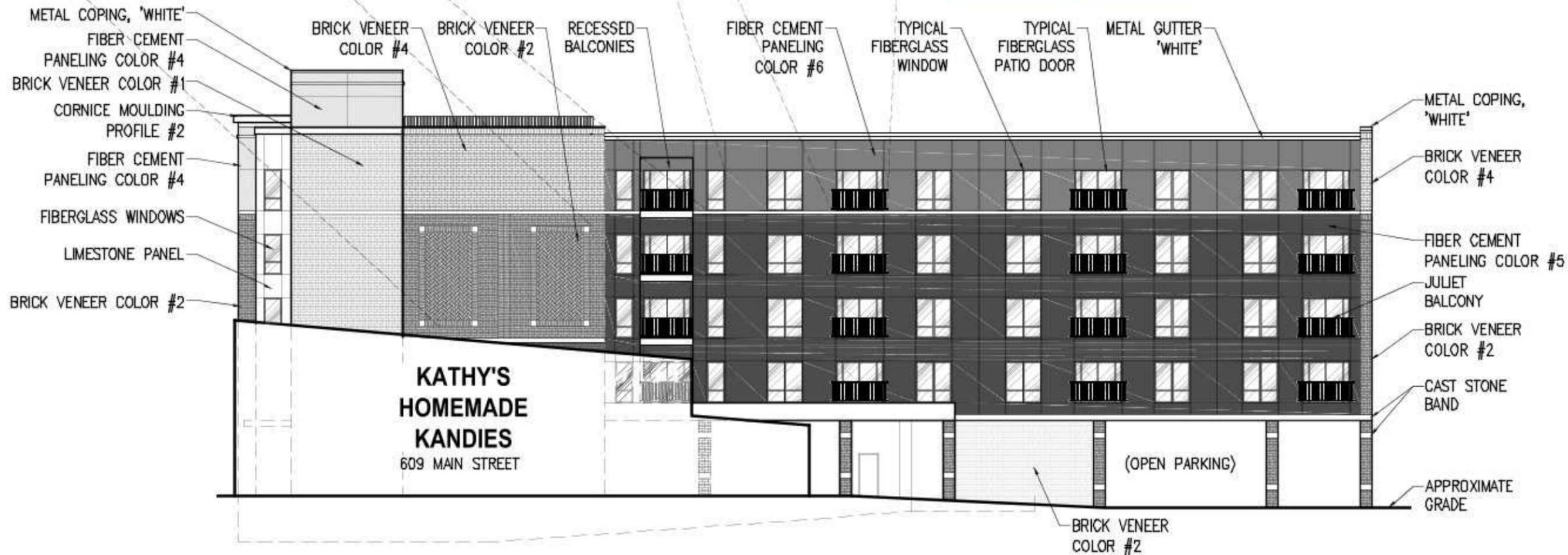
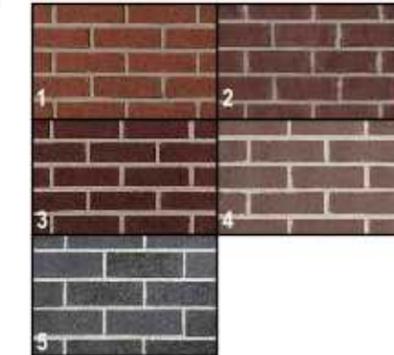


*EXACT COLOR/STYLE NOT SHOWN
 SEE DOCUMENT K FOR ADDITIONAL DETAILS

FIBER CEMENT COLOR SELECTION
 FIBER CEMENT 1: SERIOUS GRAY SW 6256
 FIBER CEMENT 2: EXTRA WHITE SW 7006
 FIBER CEMENT 3: ANALYTICAL GRAY SW 7051
 FIBER CEMENT 4: OLYMPUS WHITE SW 6253
 FIBER CEMENT 5: TO MATCH BRICK COLOR 2
 FIBER CEMENT 6: TO MATCH BRICK COLOR 4



BRICK VENEER COLOR SELECTION
 BRICK COLOR 1: SUNDOWN
 BRICK COLOR 2: WARREN
 BRICK COLOR 3: VALENCIA
 BRICK COLOR 4: COLONIAL IRONSPOT
 BRICK COLOR 5: BLACK DIAMOND



1 WEST EXTERIOR ELEVATION (VIEW FROM DOWNTOWN)
 SCALE: 1"=20'-0"

PROJECT TITLE:
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 TIPPECANOE COUNTY

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DRAWING TITLE:
**WEST EXTERIOR
 ELEVATION**

SHEET NUMBER:

G



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JULIET BALCONY (METAL)
 MANUFACTURER: TBD
 COLOR/STYLE: BLACK*
 REFERENCE IMAGE:
 226 NORTH 6TH STREET



*EXACT COLOR/STYLE NOT SHOWN
 SEE DOCUMENT K FOR ADDITIONAL DETAILS

BRICK DETAILING
 MANUFACTURER: N/A
 COLOR/STYLE: PER ELEVATIONS
 REFERENCE IMAGE: 839 MAIN STREET
 111 NORTH 6TH STREET

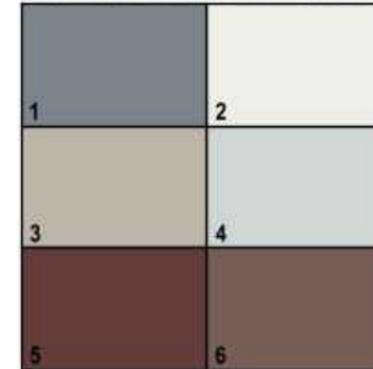


TYPICAL WINDOWS (FIBERGLASS)
 MANUFACTURER: MILGARD
 COLOR/STYLE: BLACK*
 REFERENCE IMAGE: MANUFACTURER

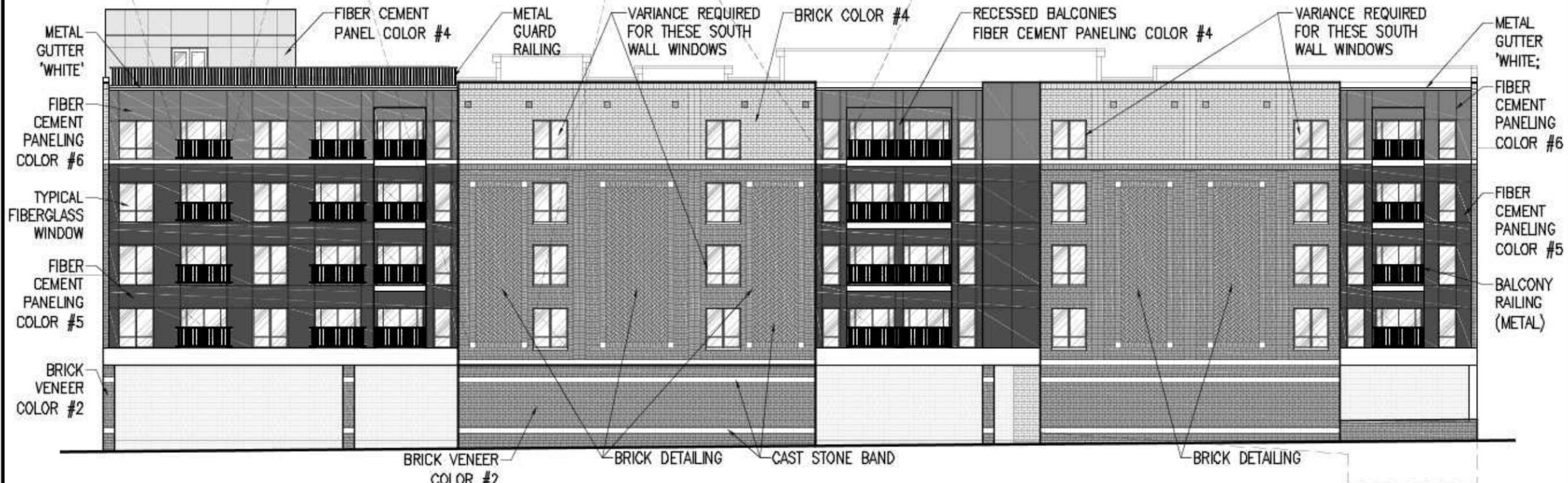
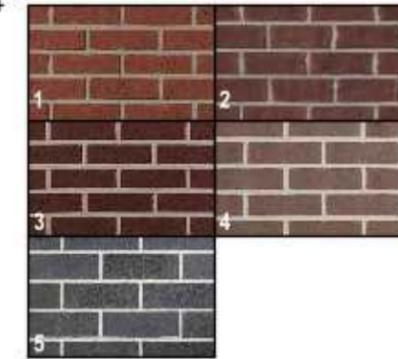


*EXACT STYLE NOT SHOWN
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 FIBER CEMENT 6: TO MATCH BRICK COLOR 4



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 BRICK COLOR 5: BLACK DIAMOND



1 SOUTH EXTERIOR ELEVATION (VIEW FROM COLUMBIA STREET)
 H SCALE: 1"=20'-0"

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DRAWING TITLE:
**SOUTH EXTERIOR
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SHEET NUMBER:
H



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 MANUFACTURER: TBD
 COLOR/STYLE: BLACK*
 REFERENCE IMAGE:
 226 NORTH 6TH STREET



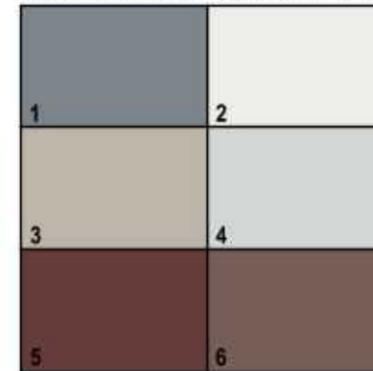
*EXACT COLOR/STYLE NOT SHOWN
 SEE DOCUMENT K FOR ADDITIONAL DETAILS

TYPICAL WINDOWS (FIBERGLASS)
 MANUFACTURER: MILGARD
 COLOR/STYLE: BLACK*
 REFERENCE IMAGE: MANUFACTURER

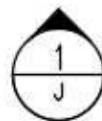
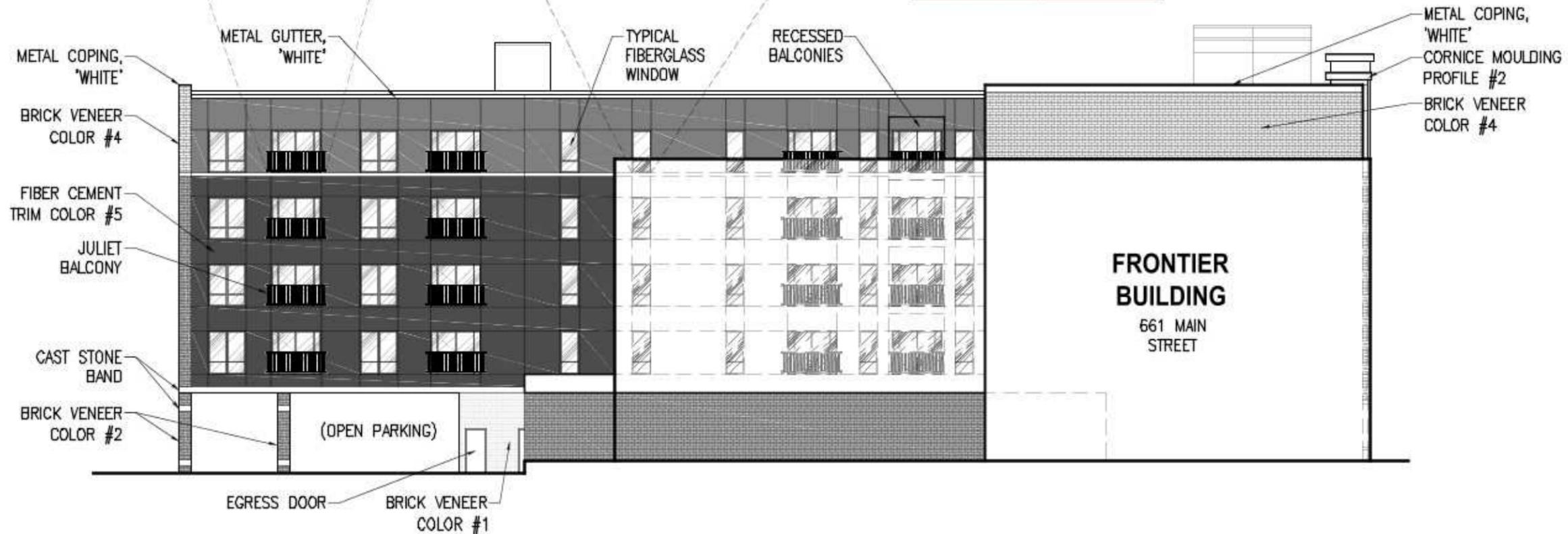
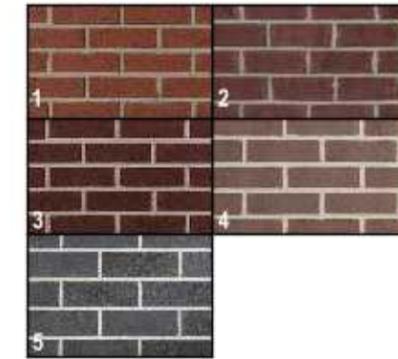


*EXACT STYLE NOT SHOWN
 SEE DOCUMENT L FOR ADDITIONAL DETAILS

FIBER CEMENT COLOR SELECTION
 FIBER CEMENT 1: SERIOUS GRAY SW 6256
 FIBER CEMENT 2: EXTRA WHITE SW 7006
 FIBER CEMENT 3: ANALYTICAL GRAY SW 7051
 FIBER CEMENT 4: OLYMPUS WHITE SW 6253
 FIBER CEMENT 5: TO MATCH BRICK COLOR 2
 FIBER CEMENT 6: TO MATCH BRICK COLOR 4



BRICK VENEER COLOR SELECTION
 BRICK COLOR 1: SUNDOWN
 BRICK COLOR 2: WARREN
 BRICK COLOR 3: VALENCIA
 BRICK COLOR 4: COLONIAL IRONSPOT
 BRICK COLOR 5: BLACK DIAMOND



EAST EXTERIOR ELEVATION (VIEW FROM UPPER MAIN)

SCALE: 1"=20'-0"

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**631 MAIN STREET APARTMENTS & RETAIL
 UPPER MAIN MANAGEMENT**

631 MAIN STREET
 LAFAYETTE, IN 47901
 TIPPECANOE COUNTY

PROJECT DATE:
05.15.2020

PROJECT NUMBER:
A2019.080

DRAWN BY:

DRAWING TITLE:
**EAST EXTERIOR
 ELEVATION**

SHEET NUMBER:

J



KJG Architecture, Inc.

527 Sagamore Parkway W., Suite 101
West Lafayette, Indiana 47906

Office: 765.497.4598 Fax: 765.497.4599

www.kjgarchitecture.com

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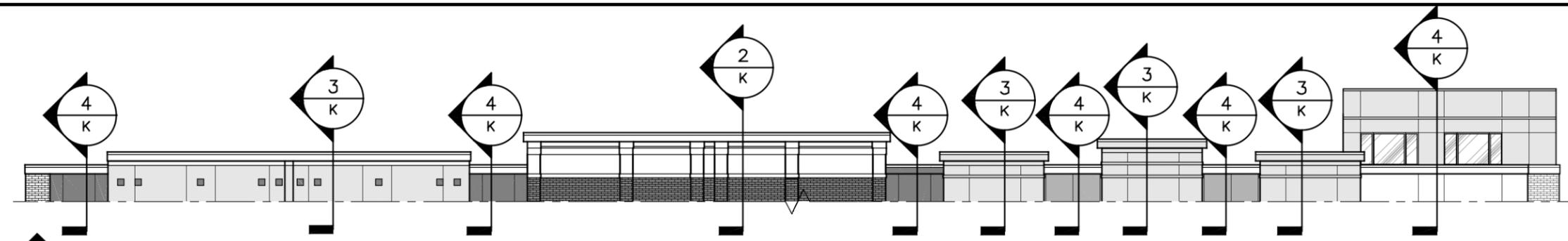
PROJECT NUMBER:
A2019.080

DRAWN BY:

DRAWING TITLE:
ELEVATION DETAILS

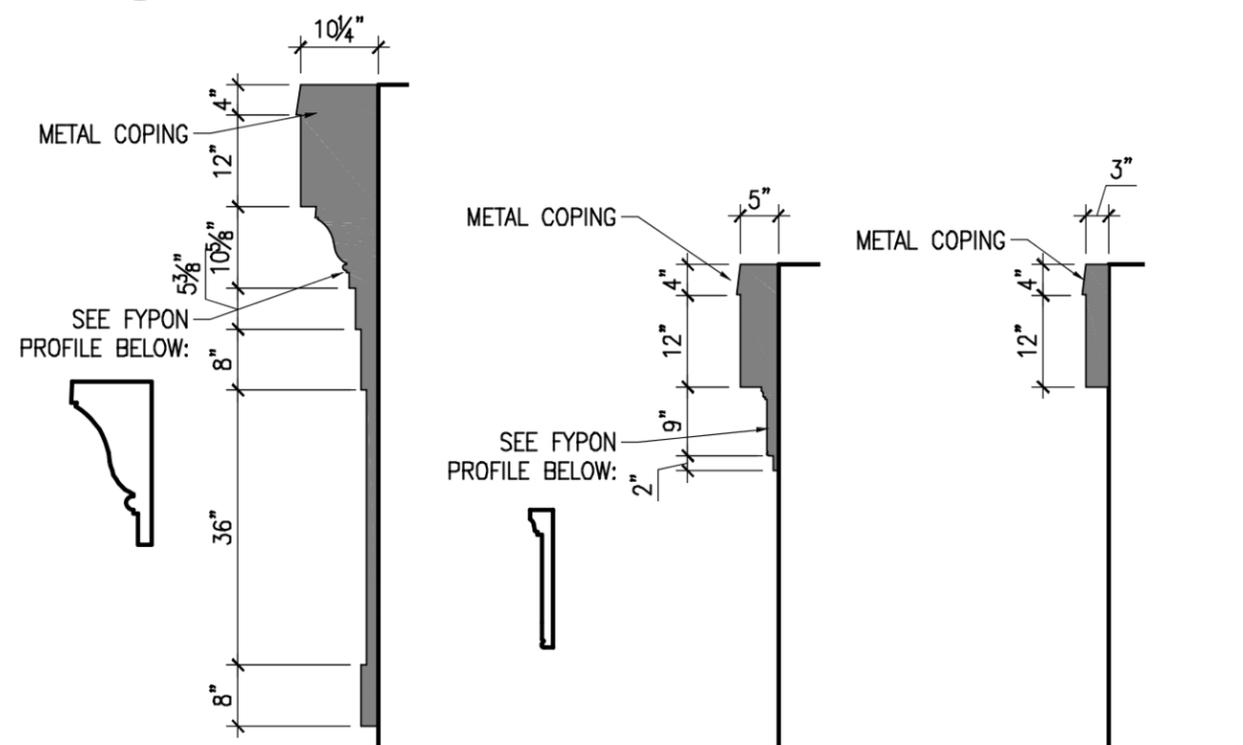
SHEET NUMBER:

K



1 PARAPET AND CORNICE ELEVATION DETAIL (NORTH ELEVATION)

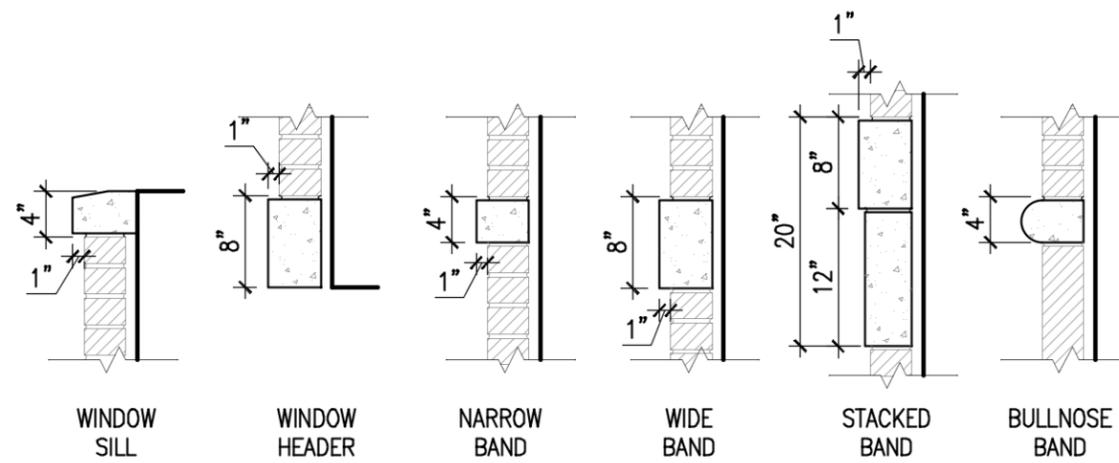
SCALE: 1"=20'-0"



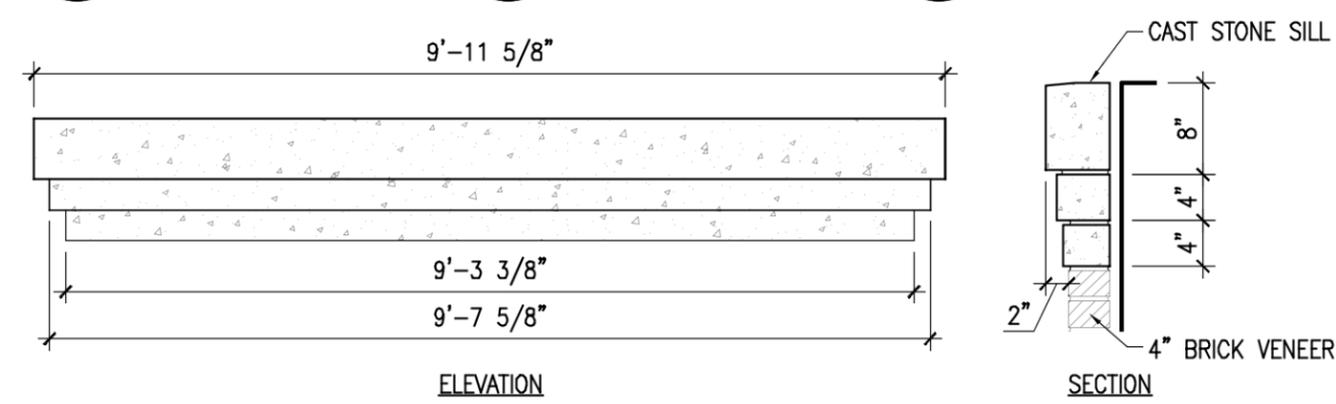
2 PROFILE 'A'
SCALE: 1/2"=1'-0"

3 PROFILE 'B'
SCALE: 1/2"=1'-0"

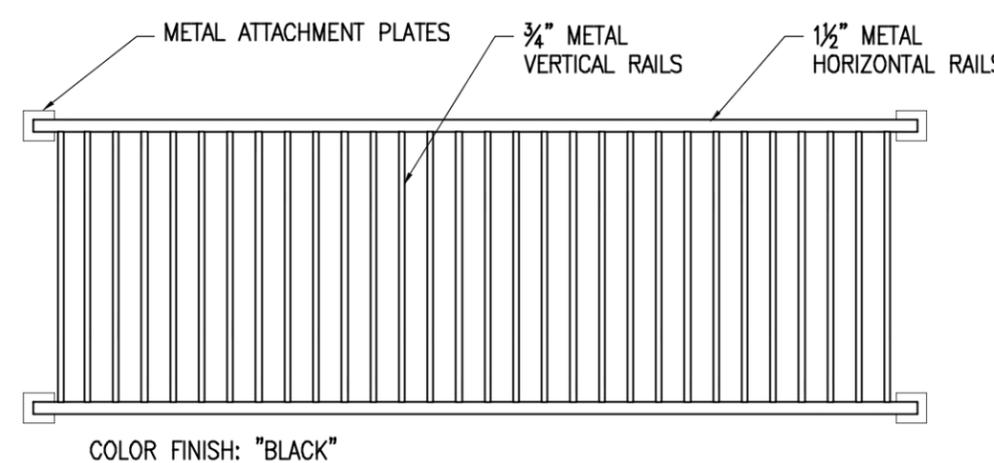
4 PROFILE 'C'
SCALE: 1/2"=1'-0"



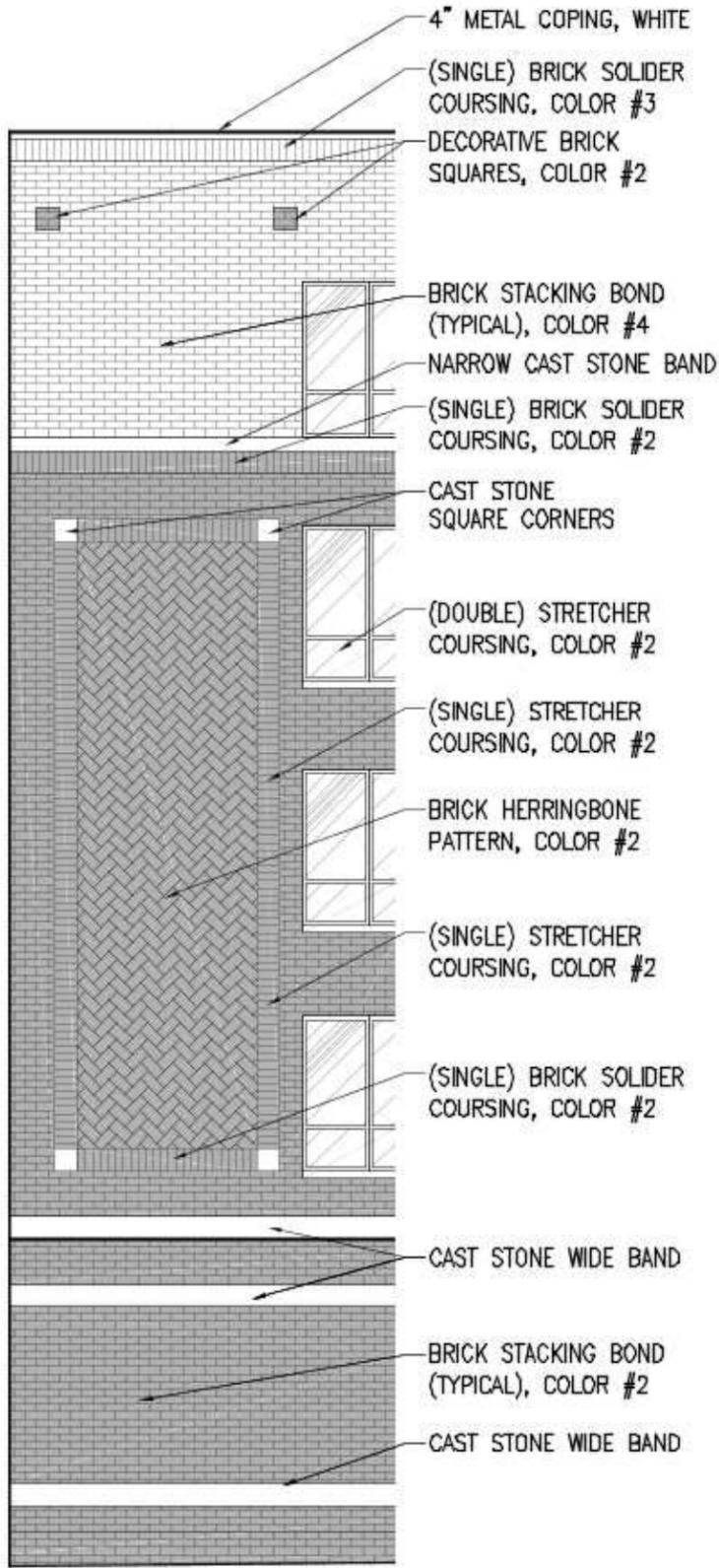
5 CAST STONE HEADERS AND BANDS PROFILES
SCALE: 3/4"=1'-0"



6 JULIET BALCONY SILL ELEVATION / SECTION
SCALE: 1/2"=1'-0"



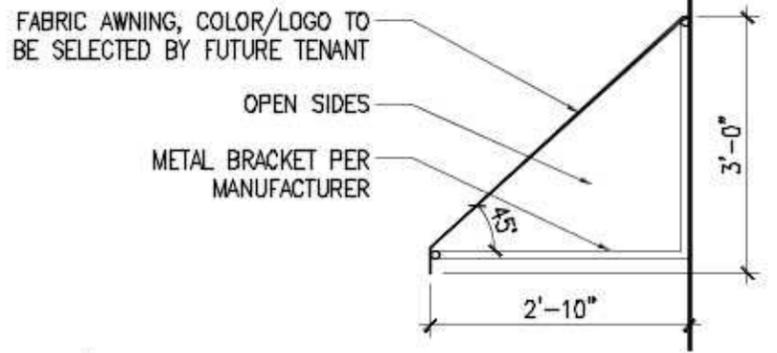
7 JULIET BALCONY METAL RAILING ELEVATIONS
SCALE: 1/2"=1'-0"



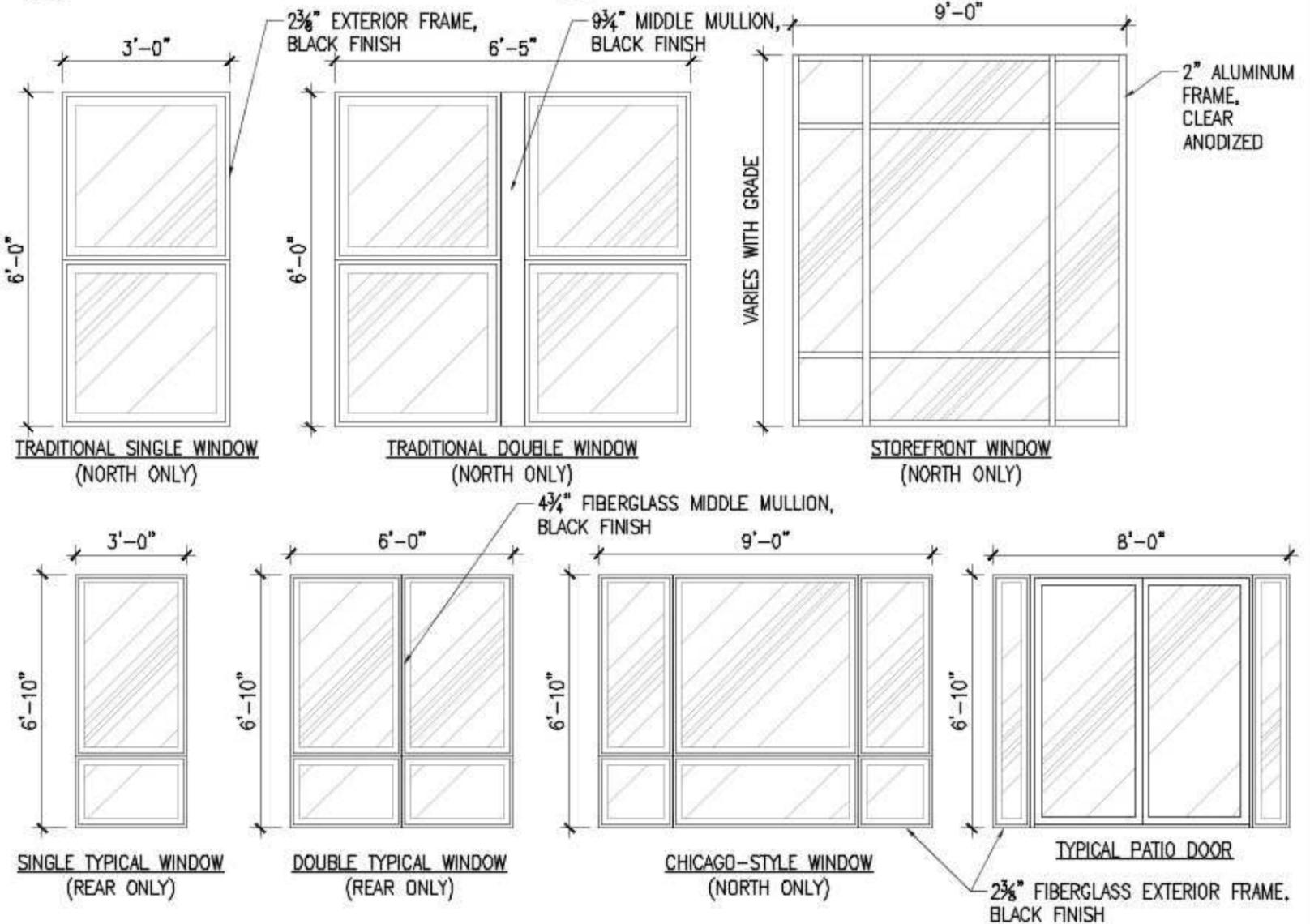
1
L
BRICK DETAILING (TYPICAL)
SCALE: 1/8"=1'-0"



4
L
CANOPY INSPIRATION
SCALE: 3/4"=1'-0"



3
L
AWNING SECTION
SCALE: 3/4"=1'-0"



2
L
TYPICAL WINDOW ELEVATIONS
SCALE: 3/8"=1'-0"



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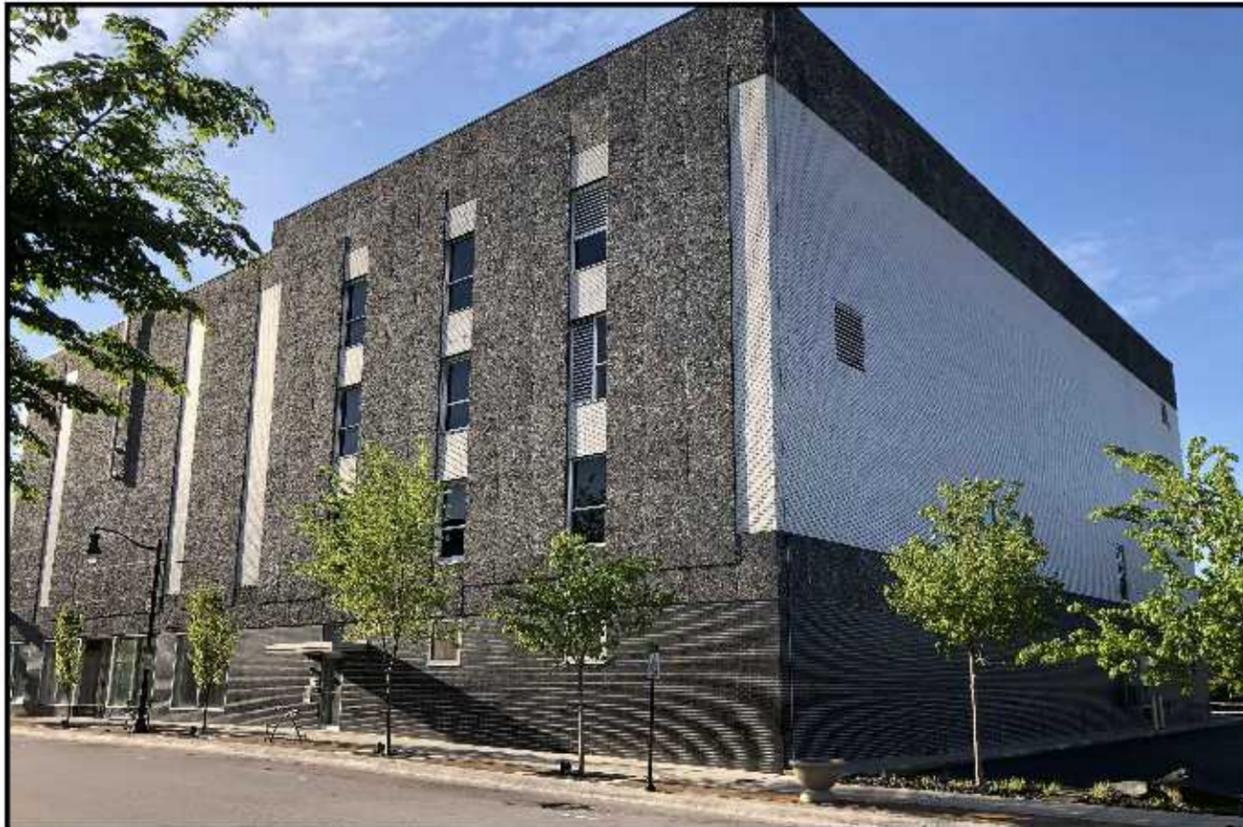
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DRAWING TITLE:
ELEVATION DETAILS

SHEET NUMBER:





1
M MAIN STREET LOOKING SOUTHEAST
SCALE: N.T.S.

2
M MAIN STREET LOOKING SOUTHWEST
SCALE: N.T.S.



3
M MAIN STREET LOOKING NORTHWEST
SCALE: N.T.S.

4
M MAIN STREET LOOKING NORTHEAST
SCALE: N.T.S.



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DRAWING TITLE:
REFERENCE IMAGES

SHEET NUMBER:

M



1
N
MAIN STREET LOOKING WEST
SCALE: N.T.S.

2
N
MAIN STREET LOOKING EAST
SCALE: N.T.S.



3
N
COLUMBIA STREET LOOKING NORTH
SCALE: N.T.S.



4
N
LONG CENTER ON NORTH 6TH STREET
SCALE: N.T.S.



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